

Annwyl Gyngorydd,

PWYLLGOR CYNLLUNIO - DYDD IAU, 22AIN AWST, 2019

Gweler yn amgaaedig, yr atodiadau a cynlluniau ar gyfer y cyfarfod uchod.

**Rhif ar yr
Agenda**

Eitem

3. **RHANBARTH Y DWYRAIN - PENDERFYNU AR GEISIADAU CYNLLUNIO**
(Tudalennau 5 - 18)
4. **RHANBARTH Y DE - PENDERFYNU AR GEISIADAU CYNLLUNIO** (Tudalennau 19
- 122)
5. **RHANBARTH Y GORLLEWIN - PENDERFYNU AR GEISIADAU CYNLLUNIO**
(Tudalennau 123 - 136)

Yn gywir,

Wendy Walters

Prif Weithredwr

Amg.



***Y PWYLLGOR
CYNLLUNIO***

22 AWST 2019

***RHANBARTH Y
DWYRAIN***

**PLANNING
COMMITTEE**

22 AUGUST 2019

**AREA
EAST**

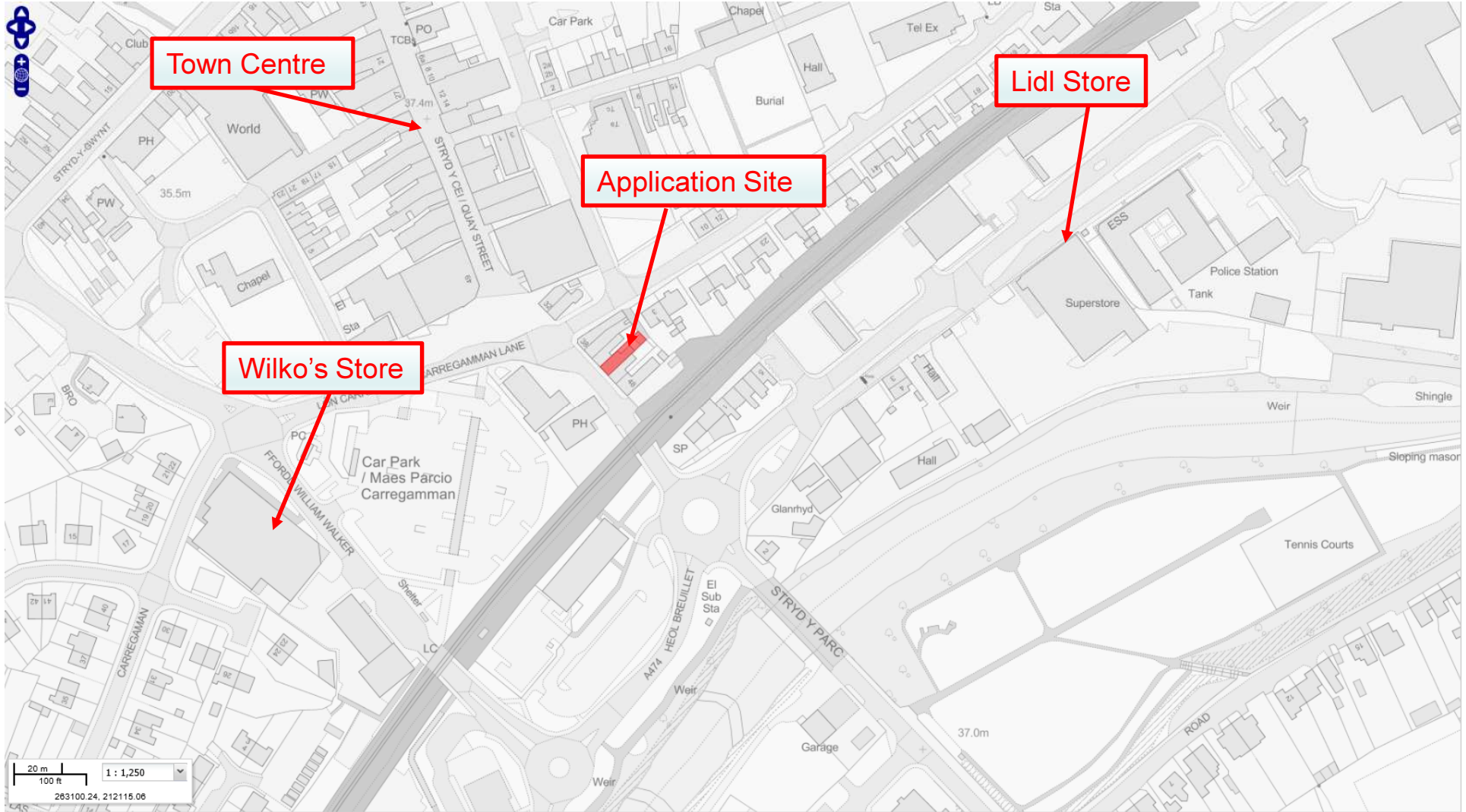
***CEISIADAU YR ARGYMHELLIR EU
BOD YN CAEL EU CYMERADWYO***

**APPLICATIONS RECOMMENDED
FOR APPROVAL**

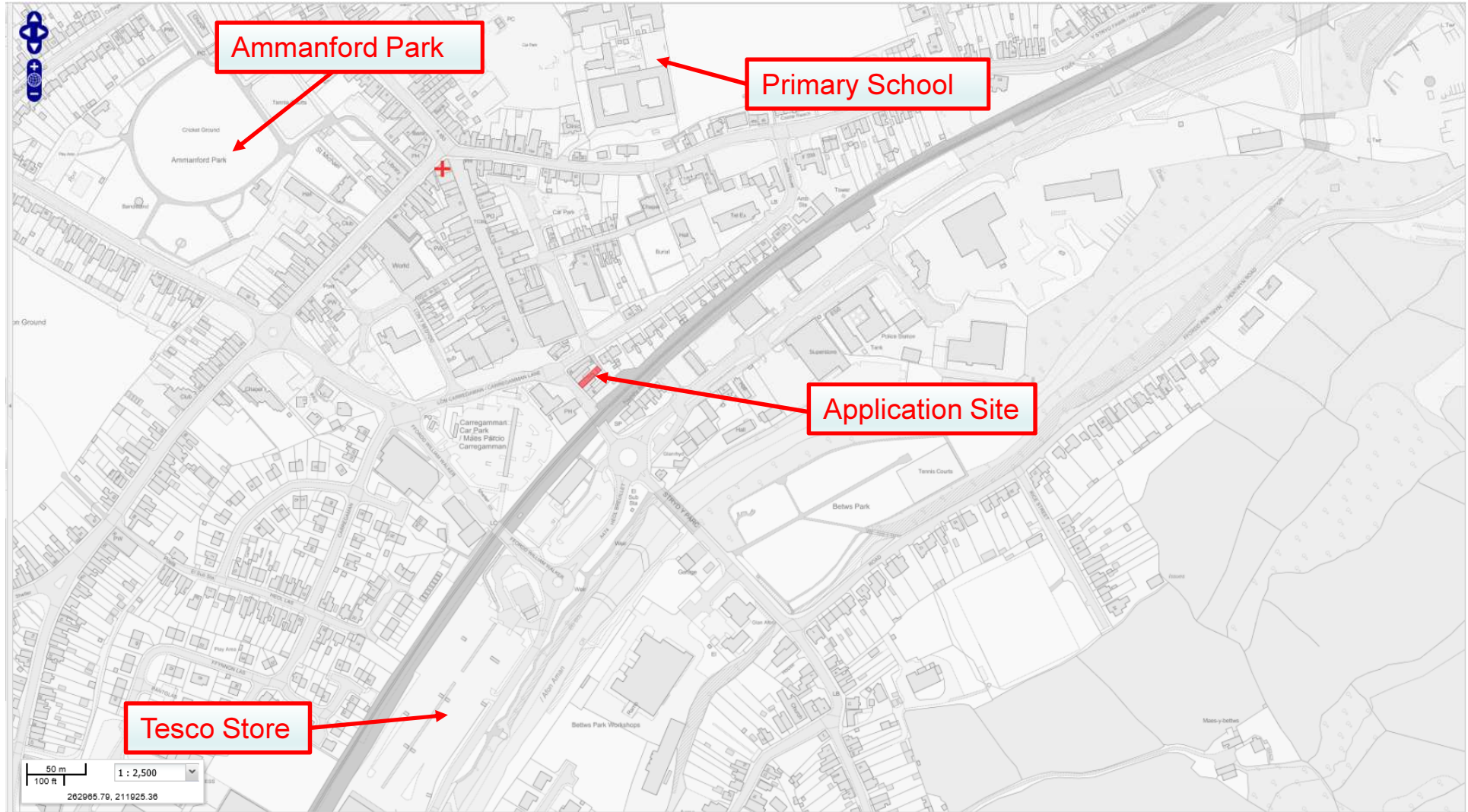


E/38980

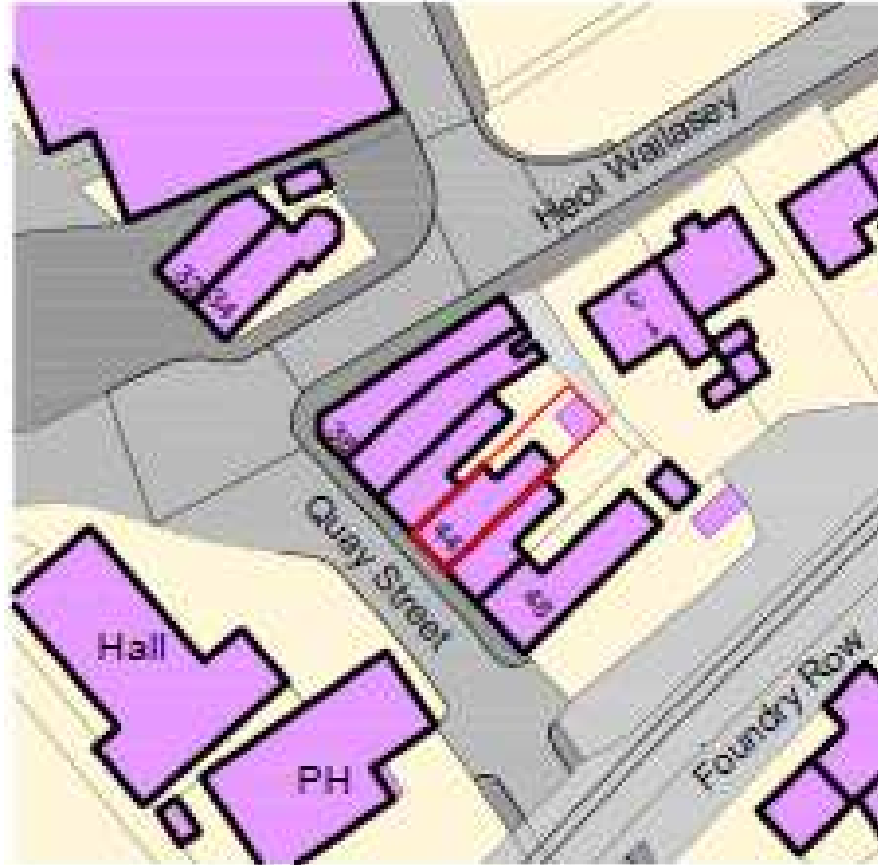
E/38980

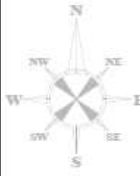




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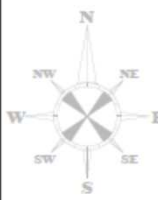


E/38980



Notes Ordinance Survey, (c) Crown Copyright 2019. All rights reserved. Licence number 100022432 	REVISION No. Comment By Date		Client Prop Source UK				
			Project Title HMO Conversion				
			Project Address 1 44 Quay Street A4				
			Project Address 2 Anmanford, SA18 3EN DLD				
			Drawing Title Site Location Plan DLD				
		Date 03.05.2019	Scale 1:1250	Drawn By JDH	Sup RH183	Drawing No. 001	Rev -
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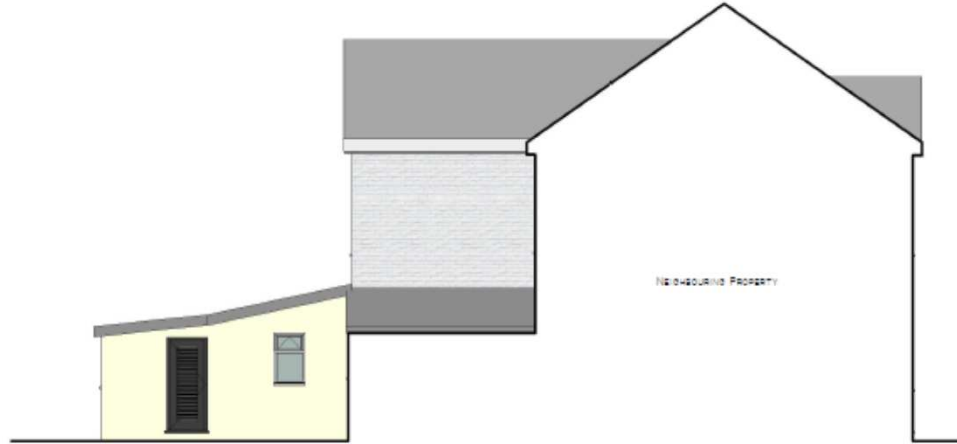


Notes	REVISED	Client		
Rev	Comment	By	Date	
Ordnance Survey, (c) Crown Copyright 2019. All rights reserved. Licence number 100022432 				Prop Source UK Project Title: HMO Conversion Project Address 1: 44 Quay Street A4 Project Address 2: Ammanford, SA18 3EN Checked by DLD Drawing Title: Proposed Site Block Plan Approved by DLD Date: 13.05.2019 Scale: 1:500 Drawn by: AYL Ref: RH183 Drawing No: 003 Rev: -
	THIS DRAWING IS THE COPYRIGHT OF DARKIN ARCHITECTS AND MAY NOT BE COPIED, ALTERED OR REPRODUCED IN ANY FORM OR PASSED TO A THIRD PARTY WITHOUT THEIR CONSENT. DIMENSIONS MUST BE CHECKED AND VERIFIED ON SITE AND ANY DISCREPANCIES SHOULD BE REPORTED TO THE ARCHITECT. THIS DRAWING MUST NOT BE SCALED AND SHOULD BE READ IN CONJUNCTION WITH ALL OTHER CONSULTANT'S DRAWINGS. IF IN DOUBT ASK FOR CONFIRMATION.			 drawing on experience
	143 Clifton Street, Cardiff, CF24 1LZ 16 Queen Street, Llanelli, SA15 2TL 02921 197 196 01554 778 730 info@darkinarchitects.com © Copyright Darkin Architects 2019 RIBA  Chartered Practice			
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E/38980 Existing Elevations



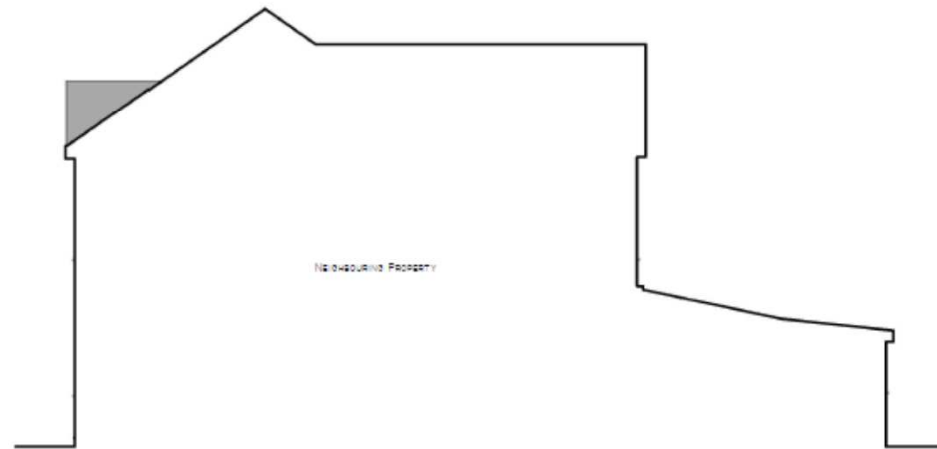
FRONT



SIDE ELEVATION



REAR

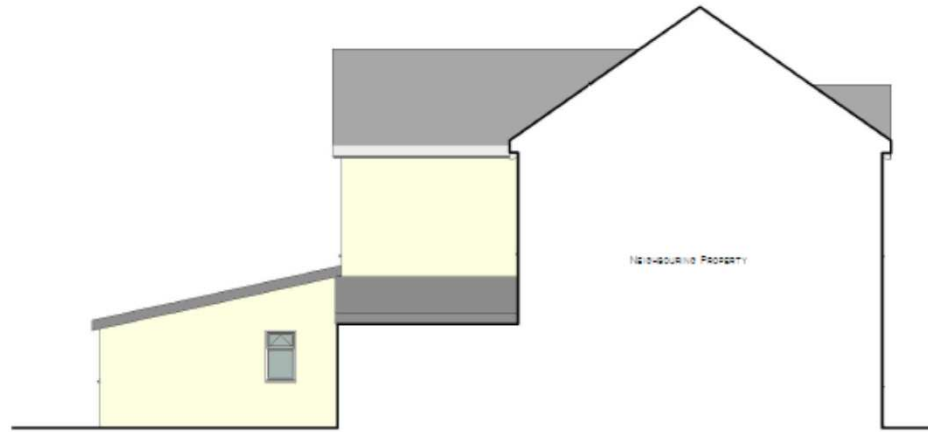


SIDE ELEVATION

E/38980 Proposed Elevations



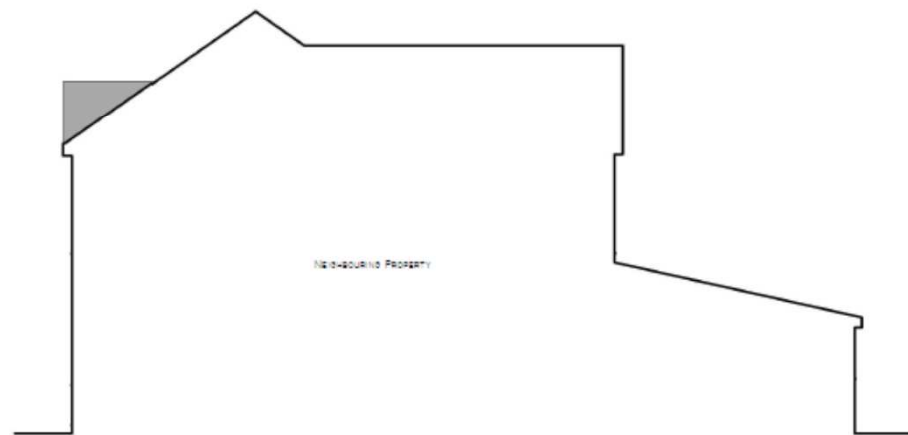
FRONT ELEVATION



SIDE ELEVATION

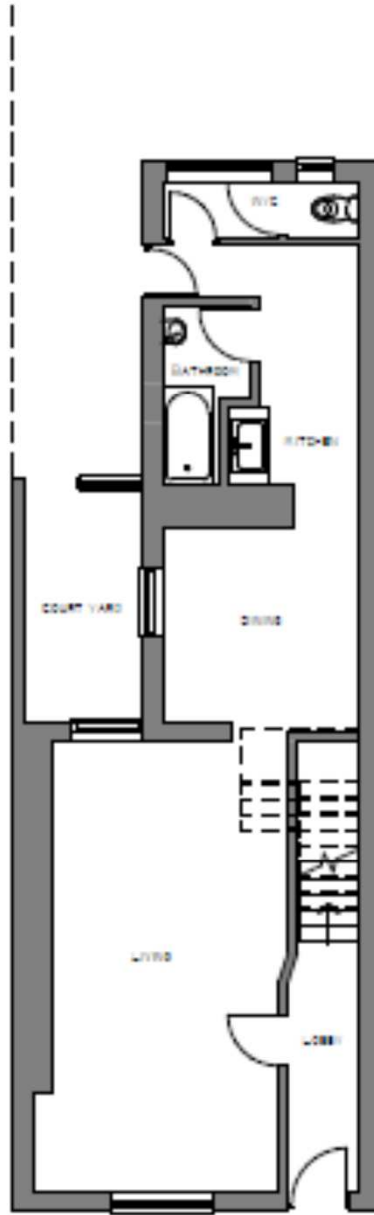


REAR ELEVATION

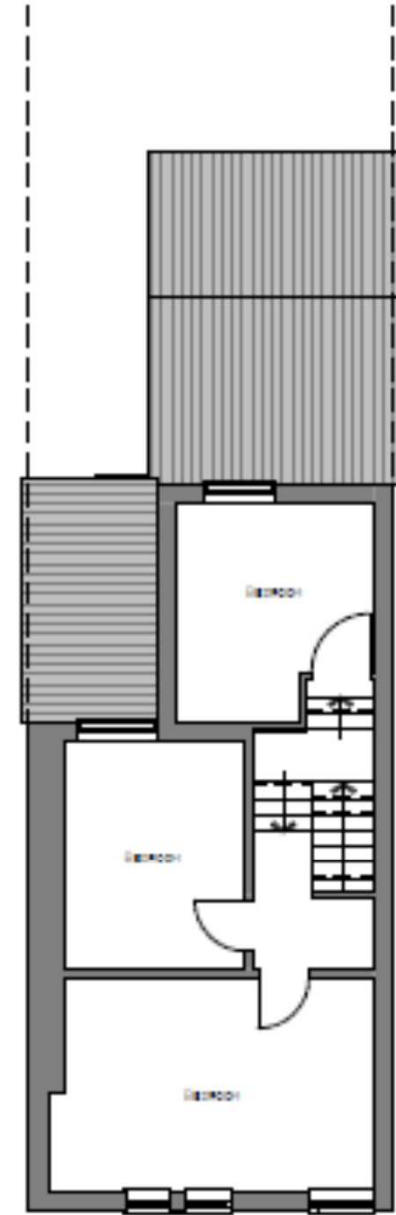


SIDE ELEVATION

E/38980 Existing Floor Plans

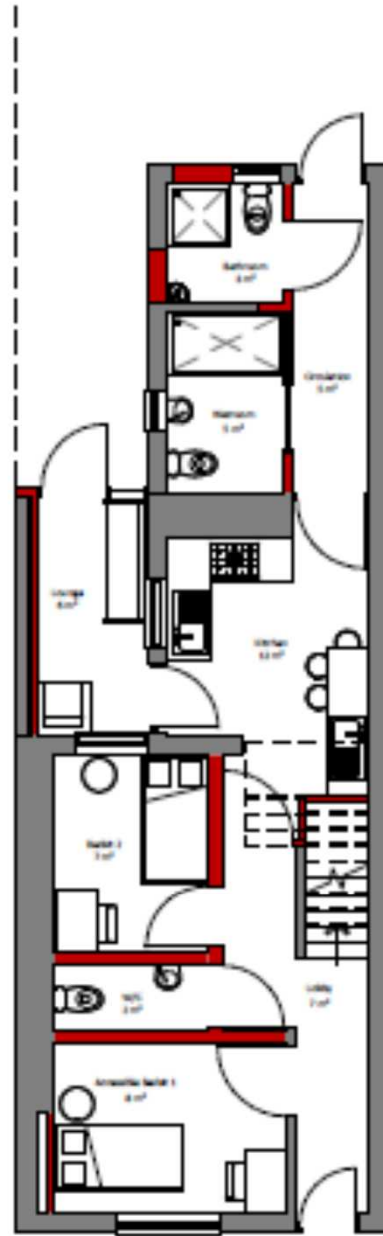


GROUND FLOOR



FIRST FLOOR

E/38980 Proposed Floor Plans



GROUND FLOOR



FIRST FLOOR

E/38980



E/38980



Mae'r dudalen hon yn wag yn fwriadol

*Ardal Del/
Area South*

**ADRODDIAD PENNAETH
CYNLLUNIO, CYFARWYDDIAETH
YR AMGYLCHEDD**

**REPORT OF THE
HEAD OF PLANNING,
DIRECTORATE OF ENVIRONMENT**

**AR GYFER PWYLLGOR CYNLLUNIO
CYNGOR SIR CAERFYRDDIN/**

**TO CARMARTHENSHIRE COUNTY
COUNCIL'S PLANNING COMMITTEE**

**AR 22 AWST 2019
ON 22 AUGUST 2019**

**I'W BENDERFYNU/
FOR DECISION**

**ATODIAD
ADDENDUM**



Addendum – Area South

<i>Application Number</i>	S/21597
<i>Proposal & Location</i>	CONSTRUCTION OF 100 DWELLINGS AND ASSOCIATED WORKS AT LAND OFF GARREGLWYD, PEMBREY, CARMARTHENSHIRE

Details:

CONSULTATIONS

Natural Resources Wales – Have confirmed that they concur with the Local Planning Authority's Appropriate Assessment which concluded that the proposed development will not result in any adverse effects that will affect the integrity of the European Protected Site.

Addendum – Area South

<i>Application Number</i>	S/38939
<i>Proposal & Location</i>	SINGLE STOREY REAR EXTENSION AND NEW DRIVEWAY TO FRONT AT 46 HEOL NANT, SWISS VALLEY, LLANELLI, SA14 8EN

Details:

Further Consultation Responses

Following the latest revised plans submitted, which propose a reduction in the total length of the extension from 8.8m to 7m, further consultation responses have been received from a neighbouring property, Llanelli Rural Council and Councillor Giles Morgan.

Llanelli Rural Council and Councillor Morgan reiterate their previous comments that the scale of the proposed extension is out of context. The neighbouring property remain to consider that the extension is too long and the roof height will invade their light. Concerns are also raised regarding the proposed roof lights and that in future the applicants may seek to add in a dormer and window at the end of the house which would then overlook their property and invade their privacy.

Addendum – Area South

<i>Application Number</i>	S/38967
<i>Proposal & Location</i>	PROPOSED CONVERSION OF EXISTING GARAGE, LINK EXTENSION AND FRONT PORCH AT 29 SARON ROAD, BYNEA, LLANELLI, SA14 9LT

Details:

The Bat Survey has now been undertaken and the report submitted to the Local Planning Authority for consideration in support of the application. The bat survey carried out in respect of the site found no signs of bats roosting within the building proposed for work. No bats or their signs were recorded during the dusk emergence survey. On this basis, the Planning Ecologist has advised that a European Protected Species (EPS) development licence is not required in this instance and there is a reasonable likelihood that bats will not be affected by the development, however it is recommended that the advisory notes relating to bats are included in any consent.

A note will be added to any planning permission granted making reference to the comments from the Planning Ecologist and the relevant bat advisory notes.



***Y PWYLLGOR
CYNLLUNIO***

22 AWST 2019

RHANBARTH Y DE

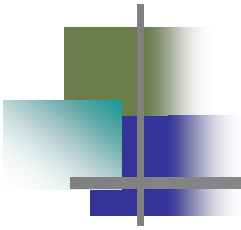
**PLANNING
COMMITTEE**

22 AUGUST 2019

AREA SOUTH

***CEISIADAU YR ARGYMHELLIR EU
BOD YN CAEL EU CYMERADWYO***

**APPLICATIONS RECOMMENDED
FOR APPROVAL**

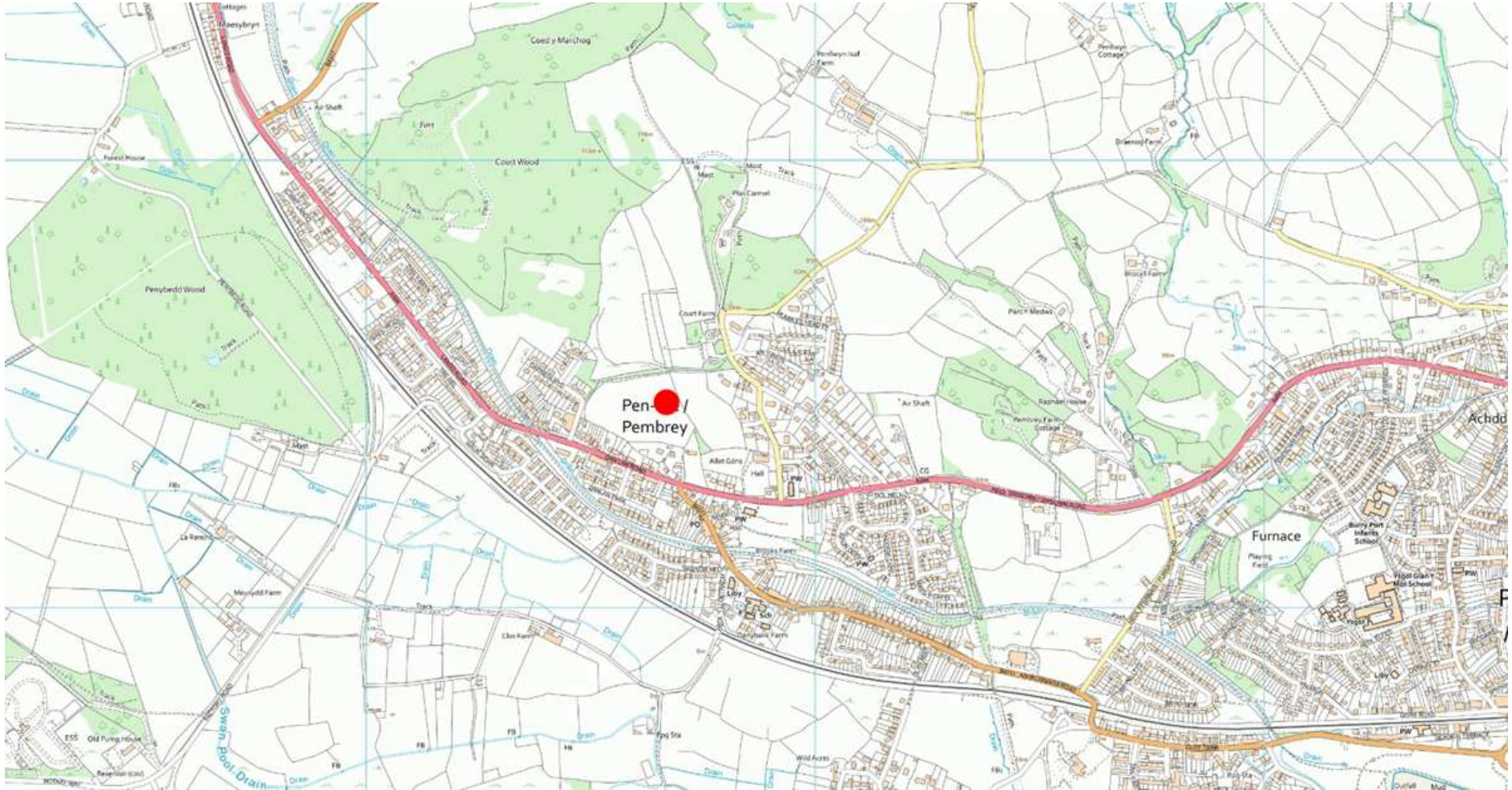


S/21597

S/21597



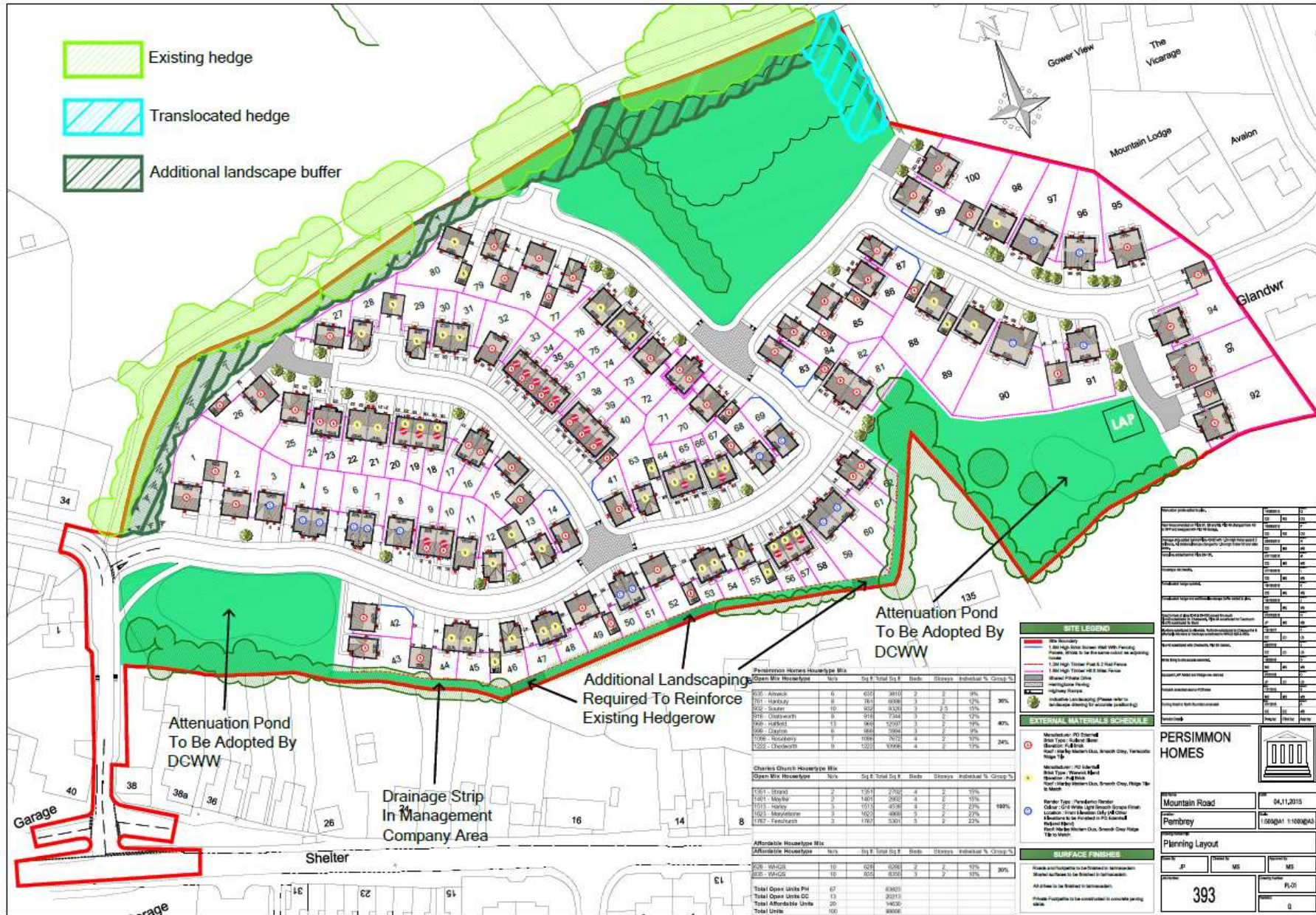
S/21597



S/21597



S/21597



Tudalen 27

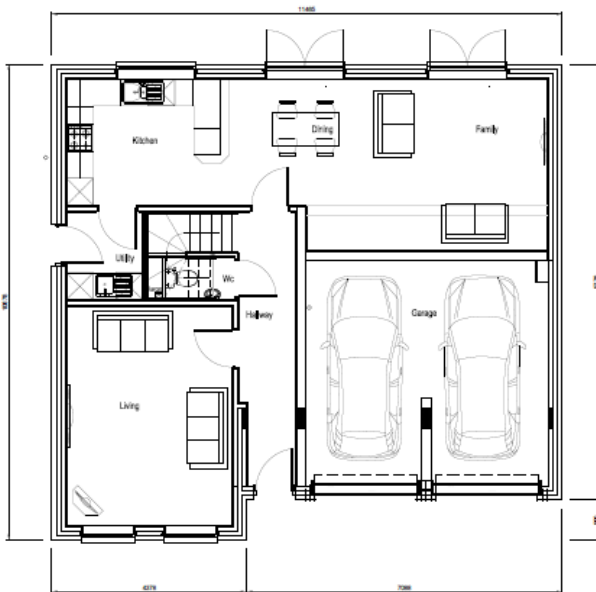
S/21597



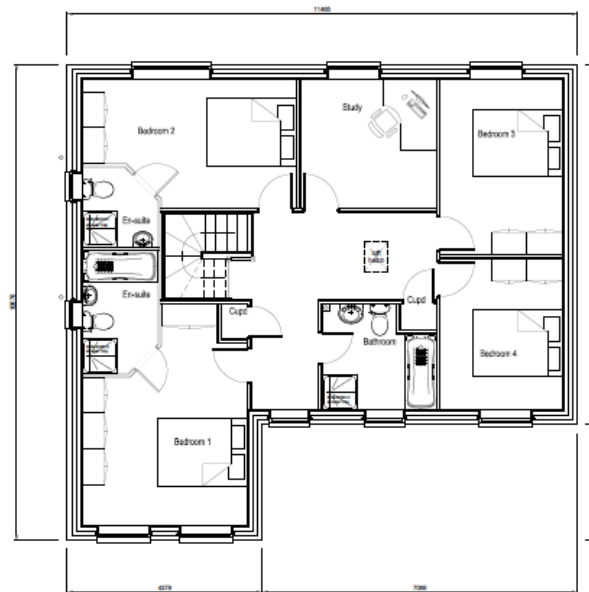
Front Elevation

Rear Elevation

Side Elevation



Ground Floor Plan



First Floor Plan



1767sqft	
Fenchurch	221113
FH-WD10	50Q A1, 100Q A3
Plans & Elevations (Planning)	
	Rev. J

S/21597

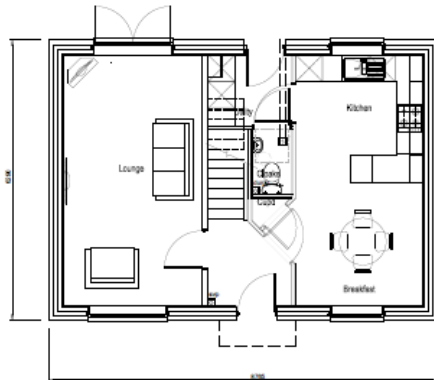


Front Elevation

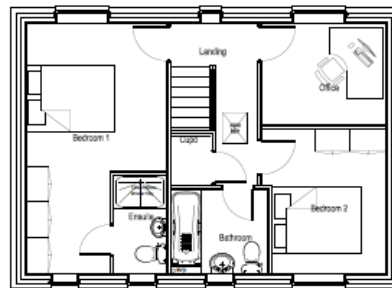
Rear Elevation

Side Elevation

Side Elevation



Ground Floor Plan.



First Floor Plan.

PERSIMMON
HOMES



999sqft	
Clayton (Village)	170413
CA-WD16	50QA1, 100QA3
Plans & Elevations (Planning)	
	REV 2 - REV 2

S/21597



S/21597



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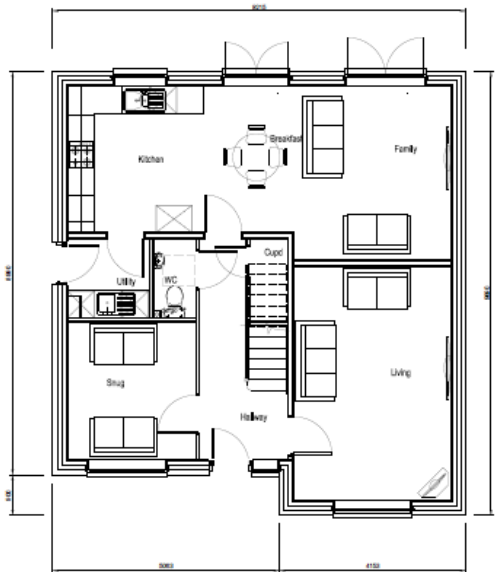
Front Elevation



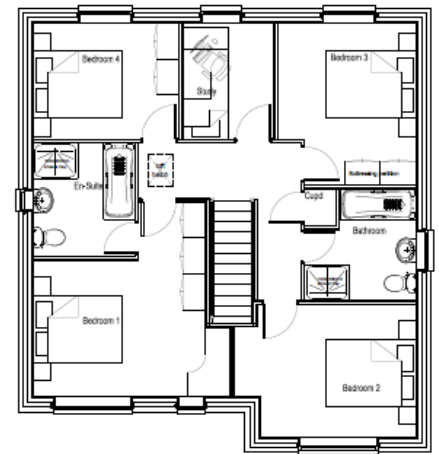
Rear Elevation



Side Elevation



Ground Floor Plan



First Floor Plan



Side Elevation



1623sqft	
Marylebone	221115
ME-WD10	502@A1, 100@A3
Plans & Elevations (Planning)	
	Rev H

Tudalen 35

S/21597



S/21597

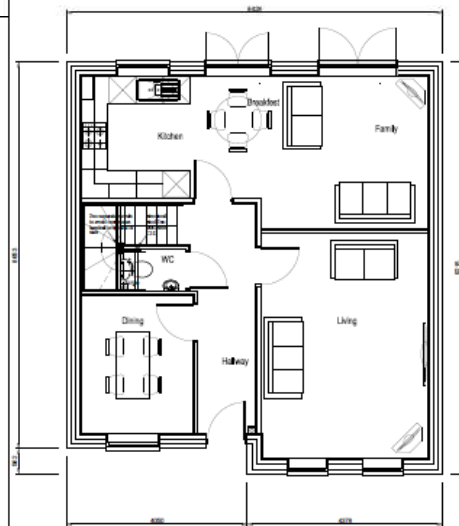


Front Elevation

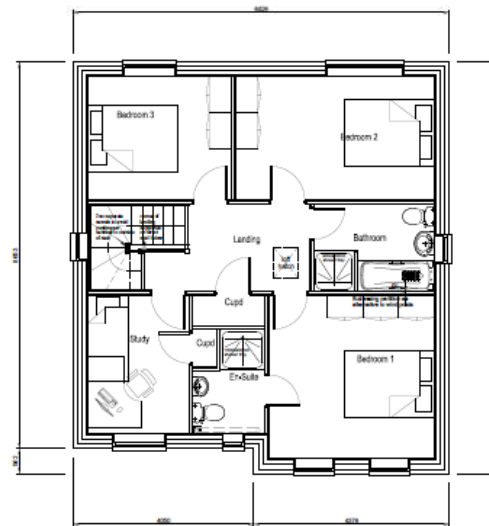
Rear Elevation

Side Elevation

Side Elevation



Ground Floor Plan

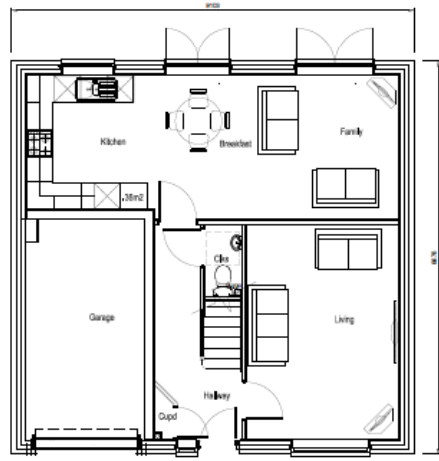


First Floor Plan



1401sqft	
Mayfair	221113
MY-WD10	50@A1, 100@A3
Plans & Elevations (Planning)	
	Rev J.

S/21597



Ground Floor Plan

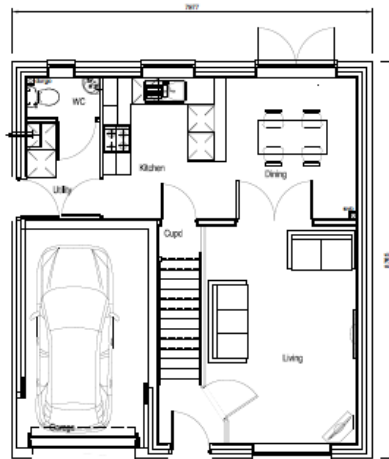


First Floor Plan

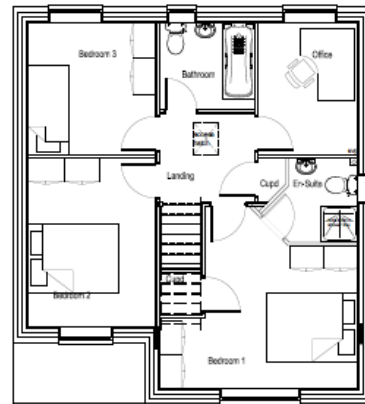


1351sqft	
Strand	221113
ST-WD10	EQ@A1, 100@A3
Plans & Elevations (Planning)	
	Rev L -

S/21597



Ground Floor Plan



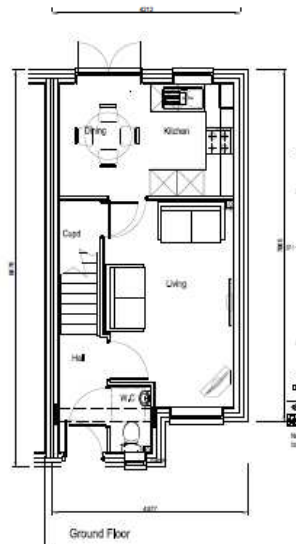
First Floor Plan

PERSIMMON
HOMES



1096sqft	
Roseberry (Village)	190613
RS-WD16	50@A1, 100@A3
Plans & Elevations (Planning)	
	Rev U

S/21597



First Floor



First Floor with optional Ex-Side

- Rev A: Draft of house information 10/11/18 (MPP)
- Rev B: Placeholder added to Rev 01/11/18 (MPP)
- Rev C: Bedroom 1 and 2 door height corrected on section 10/01/18 (MPP)
- Rev D: Staircase window added on elevation 02/01/18 (MPP)
- Rev E: Staircase door window added to Rev of side elevation 02/01/18 (MPP)
- Rev F: gas point for hot water removed 14/02/18 (MPP)
- Rev G: Kitchen window removed to match 1/11/18 (MPP)
- Rev H: Bath T.D. window added on plan to match elevation 23/01/18 (MPP)
- Rev J: Bath to 1.810 total as specified 04/02/18 (MPP)
- Rev K: Full final sketch, party wall window removed for 1/11/18 (MPP)
- Rev L: Persimmon House No. 21597 added 02/11/18 (MPP)

PERSIMMON
HOMES



638sqft	
The Alnwick (Village)	02/25/18
AN-WD16	09/01/18 1000/043
Plans & Elevations (Planning)	
	Rev L

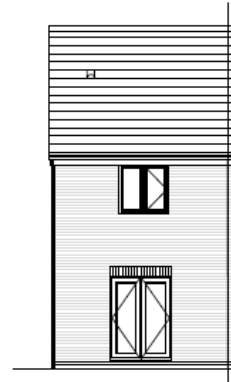
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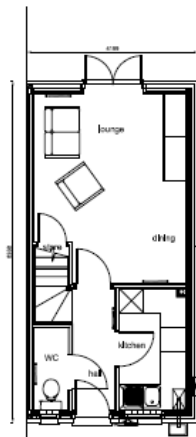
Front Elevation



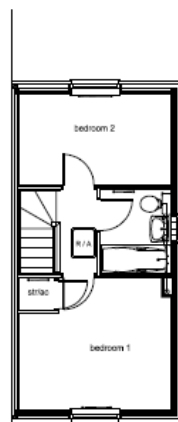
Side Elevation



Rear Elevation



Ground Floor Plan



First Floor Plan

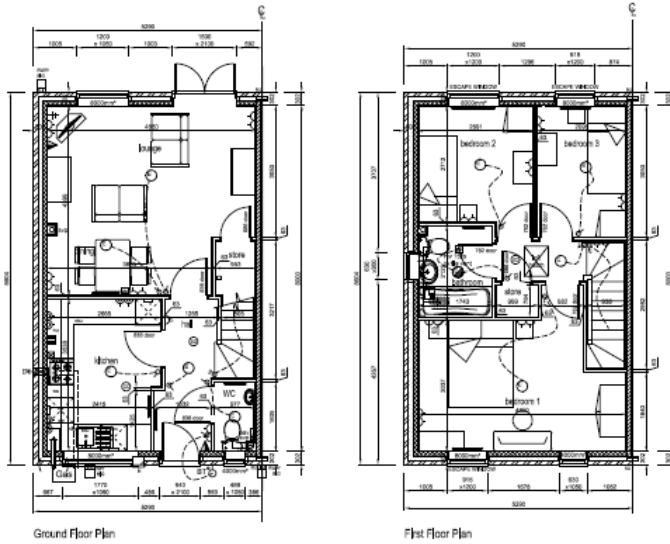
Rev A - Persimmon Homes Ltd 21/11/19
 Rev B - 01/02/2020 - 01/02/2020 - 01/02/2020
 Rev C - 01/02/2020 - 01/02/2020 - 01/02/2020
 Rev D - 01/02/2020 - 01/02/2020 - 01/02/2020
 Rev E - 01/02/2020 - 01/02/2020 - 01/02/2020
 Rev F - 01/02/2020 - 01/02/2020 - 01/02/2020
 Rev G - 01/02/2020 - 01/02/2020 - 01/02/2020
 Rev H - 01/02/2020 - 01/02/2020 - 01/02/2020
 Rev I - 01/02/2020 - 01/02/2020 - 01/02/2020

PERSIMMON HOMES



628 sqft	
628 - WHQS	00012
628-WHQS-WD01	00@A1, 100@A3
Plans & Elevations (Planning)	
	Rev / -

S/21597



General Notes

1. All dimensions are in millimeters unless otherwise stated.

2. All work to be in accordance with the Building Regulations 2010 and subsequent amendments.

3. All work to be in accordance with the current edition of the British Standards (BS) and European Standards (EN) referred to in the specification.

4. All work to be in accordance with the current edition of the Building Regulations 2010 and subsequent amendments.

5. All work to be in accordance with the current edition of the Building Regulations 2010 and subsequent amendments.

6. All work to be in accordance with the current edition of the Building Regulations 2010 and subsequent amendments.

7. All work to be in accordance with the current edition of the Building Regulations 2010 and subsequent amendments.

8. All work to be in accordance with the current edition of the Building Regulations 2010 and subsequent amendments.

9. All work to be in accordance with the current edition of the Building Regulations 2010 and subsequent amendments.

10. All work to be in accordance with the current edition of the Building Regulations 2010 and subsequent amendments.

Electrical Key

1. All electrical work to be in accordance with the current edition of the Wiring Regulations (BS 7671).

2. All electrical work to be in accordance with the current edition of the Wiring Regulations (BS 7671).

3. All electrical work to be in accordance with the current edition of the Wiring Regulations (BS 7671).

4. All electrical work to be in accordance with the current edition of the Wiring Regulations (BS 7671).

5. All electrical work to be in accordance with the current edition of the Wiring Regulations (BS 7671).

6. All electrical work to be in accordance with the current edition of the Wiring Regulations (BS 7671).

7. All electrical work to be in accordance with the current edition of the Wiring Regulations (BS 7671).

8. All electrical work to be in accordance with the current edition of the Wiring Regulations (BS 7671).

9. All electrical work to be in accordance with the current edition of the Wiring Regulations (BS 7671).

10. All electrical work to be in accordance with the current edition of the Wiring Regulations (BS 7671).

Note for Kitchen refer also to Kitchen suppliers drawing

Triple vent requirements = 77m² 3 bed house = 35,000mm² (2006 regs DAP 10), 35,000mm² (2010 regs DAP 5.1). All vent rates are EQUIVALENT rates - total 48,000mm²

F	Escape window symbol and note added	16.04.18
E	Electric shower added to Bath & lounge relative connected to shower	16.04.18
C	Cost reference amended to 835	16.12.14
C	Internal layout amended	16.12.14
B	Stairwell revised	21.07.14
A	Plan to WC repositioned	17.06.14
	Rev'd.	



835 sqft	
835-WHQ5	June 2014
835-WHQ5-WD01	500@A1, 1000@A3
Plans Elevations & Section	
	Rev'd

S/21597



Tudalen 43

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Tudalen 45

S/21597



S/21597



Tudalen 47

Tudalen 48

S/21597



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Tudalen 49

Tudalen 50

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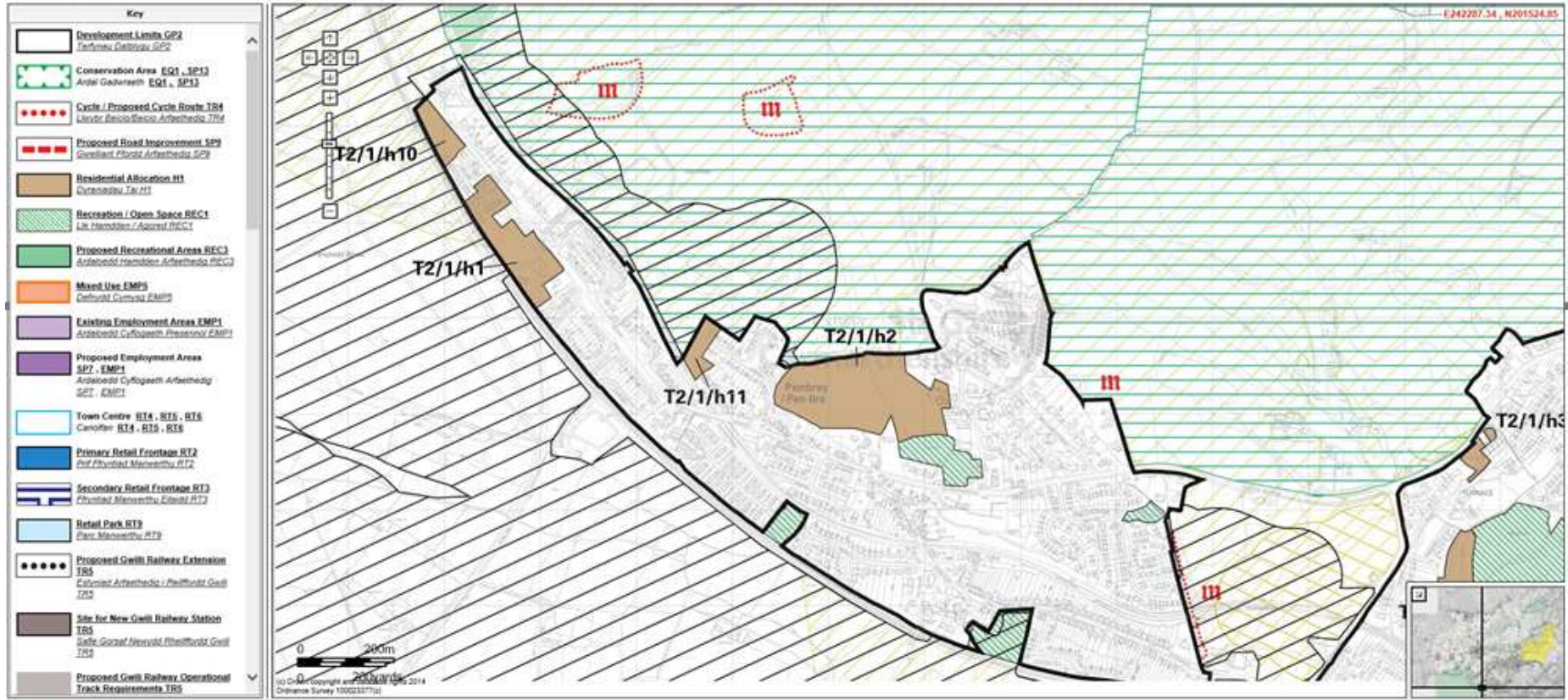


Tudalen 52

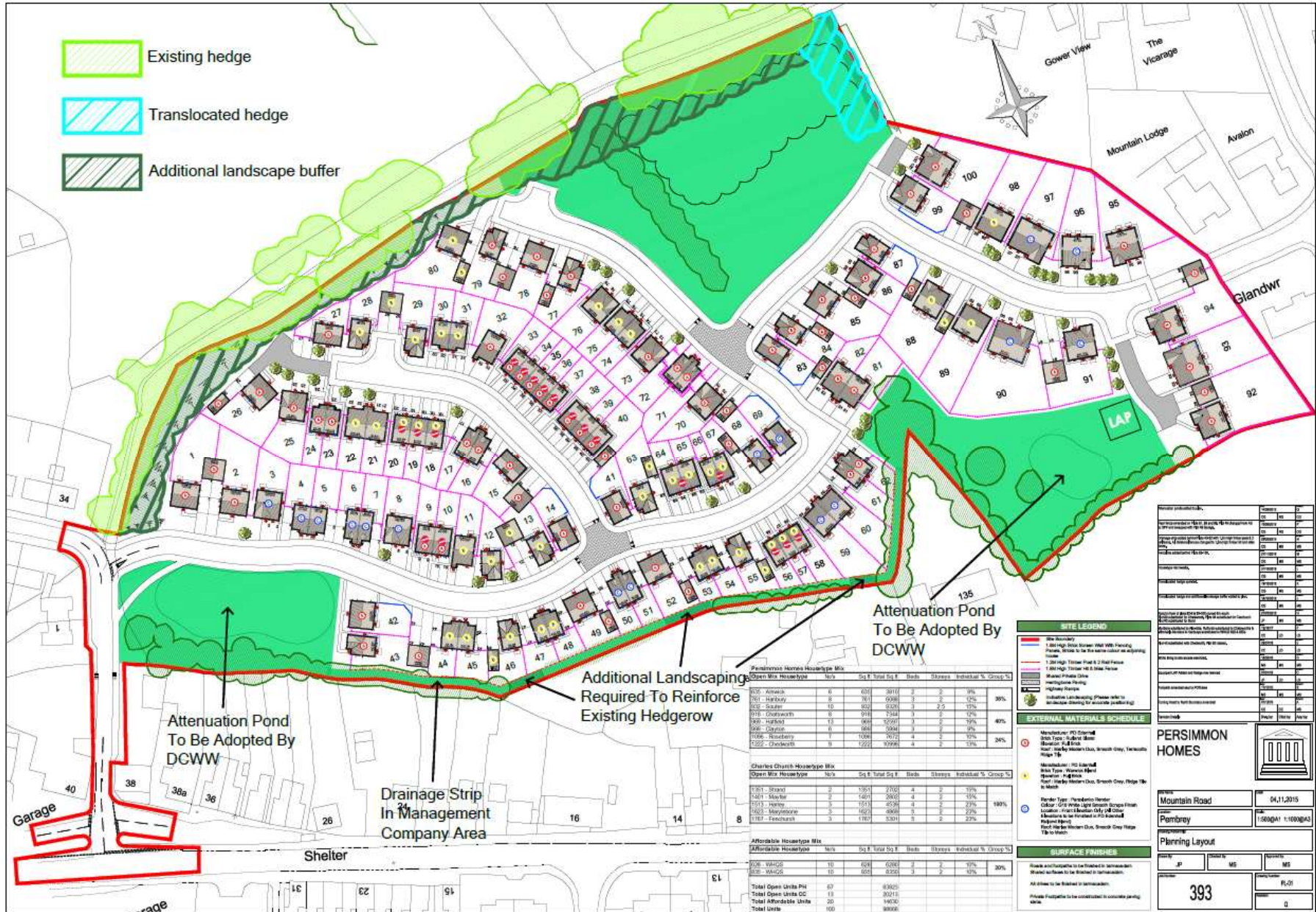
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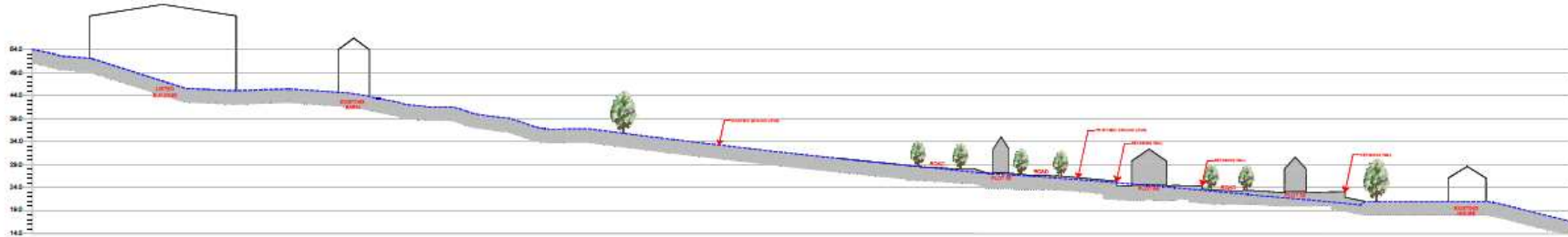
EXTERNAL MATERIALS SCHEDULE

PERSIMMON HOMES

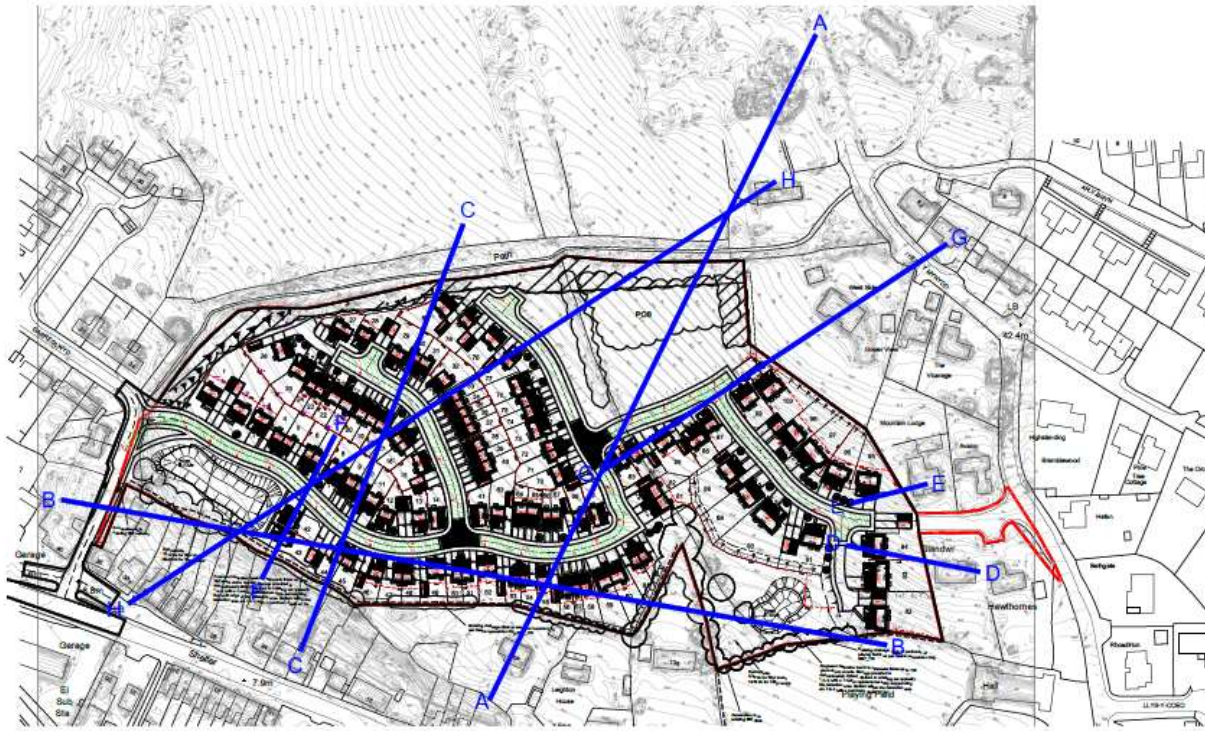
Planning Layout

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SECTION A-A

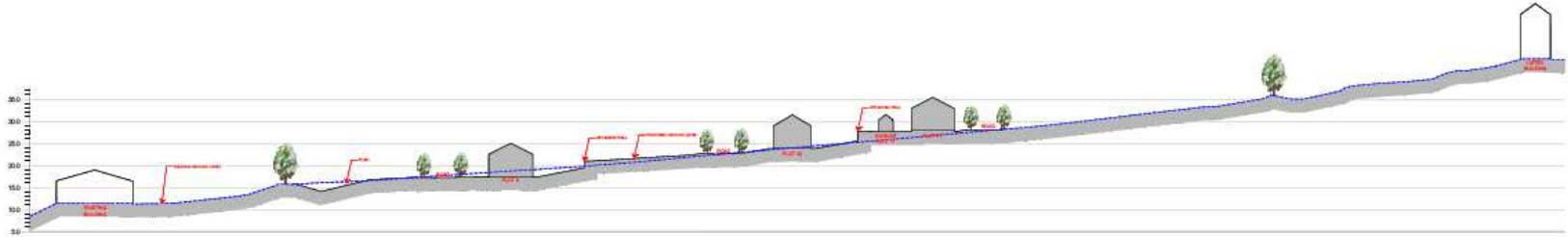


DATE: 11/15/2018		SCALE: 1/8" = 1'-0"
PROJECT: Mountain Road		NO. 27052018
SHEET: 11		TOTAL SHEETS: 18
DRAWN BY: J.P.		CHECKED BY: M.S.
DATE: 11/15/2018		SCALE: 1/8" = 1'-0"
PERSIMMON Together, we make a home		
Mountain Road		27052018
Pembrey		Lot 11, 12, 13, 14, 15, 16, 17, 18
Section A-A		
DATE: 11/15/2018	SCALE: 1/8" = 1'-0"	NO. 27052018
PROJECT: Mountain Road	SHEET: 11	TOTAL SHEETS: 18
DRAWN BY: J.P.		
CHECKED BY: M.S.		
DATE: 11/15/2018		
SCALE: 1/8" = 1'-0"		

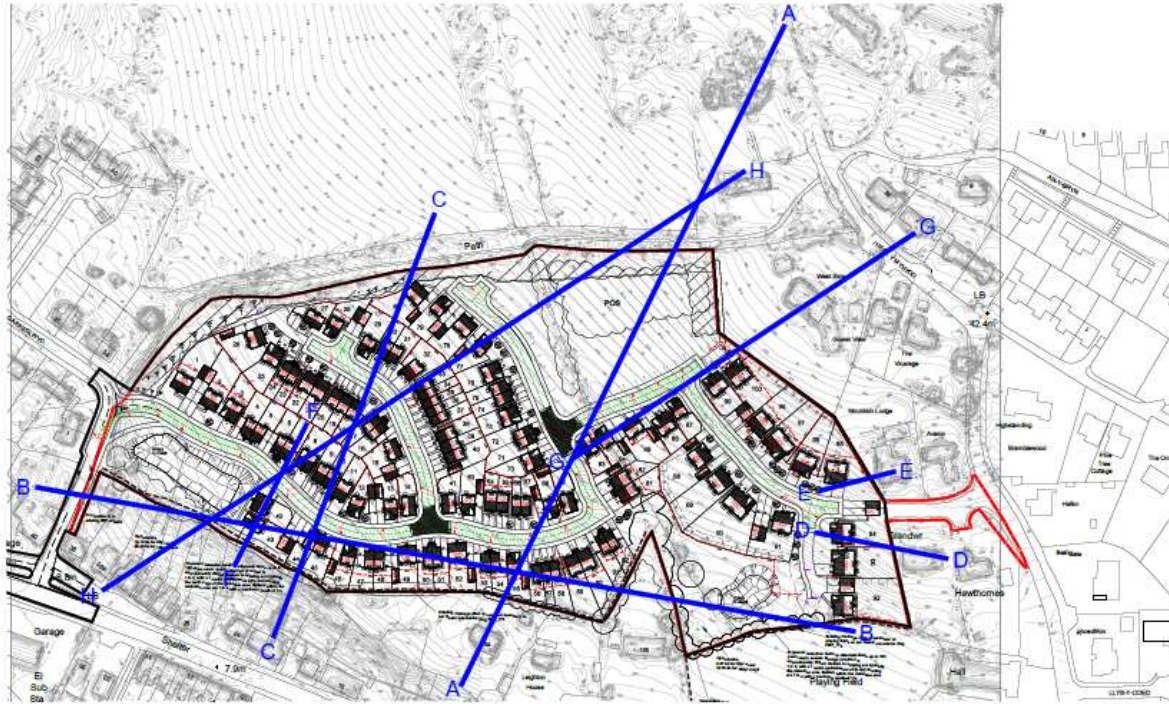
Tudalen 55

MOUNTAIN ROAD - SITE SECTIONS

S/21597



SECTION H-H



<p>PERSIMMON Together, we make a home</p>	
Project Name	Mountain Road
Date	27/06/2016
Project No.	11030041
Section	Section H-H
Scale	1:500
Author	###
Check	###
Drawn	###
Approved	###

MOUNTAIN ROAD - SITE SECTIONS

S/21597



Image EDP 5: Representative view of Court Farmhouse looking south from the bridleway running up the hillside from Heol y Mynydd; here illustrating the experience of the building, the screening effect of the mature trees defining Mucky Lane and the focus on the distant views of Burry Inlet in the background (in spite of the low cloud).

S/21597



Image EDP 6: Representative view of Court Farm from the top of the hill to the north, here showing the extent to which the mature trees defining Mucky Lane visually separate the two listed buildings from the site area beyond.

S/21597



Image EDP 7: Long range view looking north east from the end of Factory Road, illustrating the extent to which the buildings of Court Farm stand separate from the village and the degree of visual separation between the site and the listed buildings which the mature trees on Mucky Lane serve to maintain.

S/21597



Image EDP 8: A slightly closer view of the listed buildings from Factory Road, here showing the farm complex set within a well wooded landscape, but also the nature and appearance of substantial modern dwellings in its immediate surroundings.

S/21597



Image EDP 12: Typical view looking north east towards Court Farm from the western field within the site, here not only illustrating the screening effect of the mature trees along Mucky Lane, but also the scale of the existing residential dwellings which stand adjacent to the site's eastern edge and where the roofs can be experienced projecting above the internal hedgerow.

S/21597



Image EDP 13: Typical view looking north-north east from within the eastern field at the site, and showing clearly the screening effect of the trees on Mucky Lane, but also the scale of the existing residential dwellings adjoining the eastern fringe.

S/21597



Image EDP 14: A close-up of the view of Court Farm from the northern edge of the eastern field at the site, where one single chimneystack can be identified through the vegetation.

S/21597



NOTE:

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REV	DESCRIPTION	DATE	BY	CHECKED
1	ISSUE FOR CONSTRUCTION	02/16	MA	MA

CORUN Corun (Australia) Pty Ltd
 Transport & Highway Engineering

CLIENT:
PERSIMMON HOMES LTD

PROJECT:
**MOUNTAIN ROAD
PEMBREY**

TITLE:
**PROPOSED VEHICULAR
PRIORITY ORDER ON
GARREGLWYD**

STATUS:
PRELIMINARY

SCALE:	DATE:	DRAWN:	CHECKED:
AS SHOWN	02/16	MA	MA

JOB NO:	DRAWING NO:	REVISION:
15-00412	PM02	B

S/21597



Tudalen 65

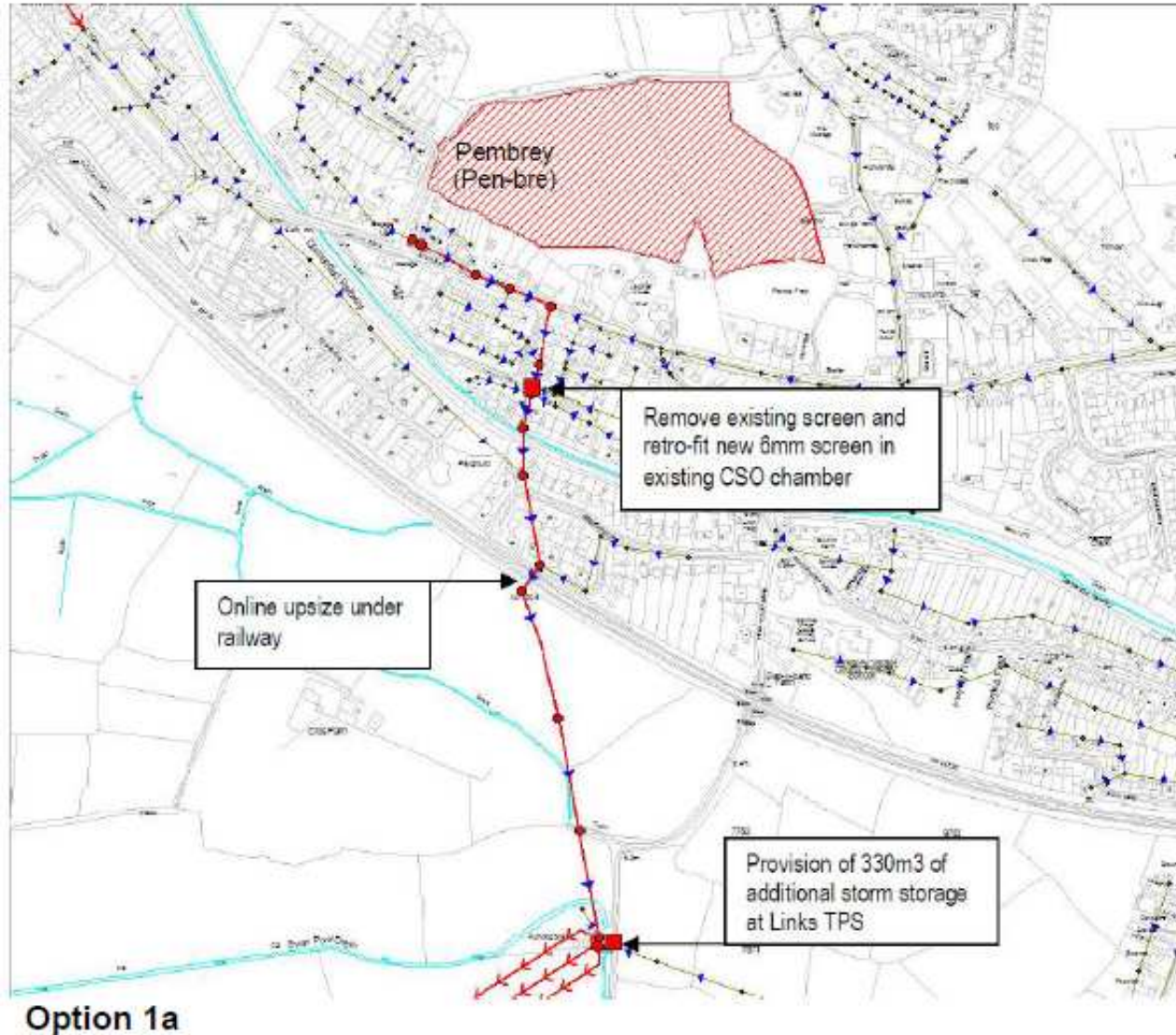
Tudalen 66

S/21597

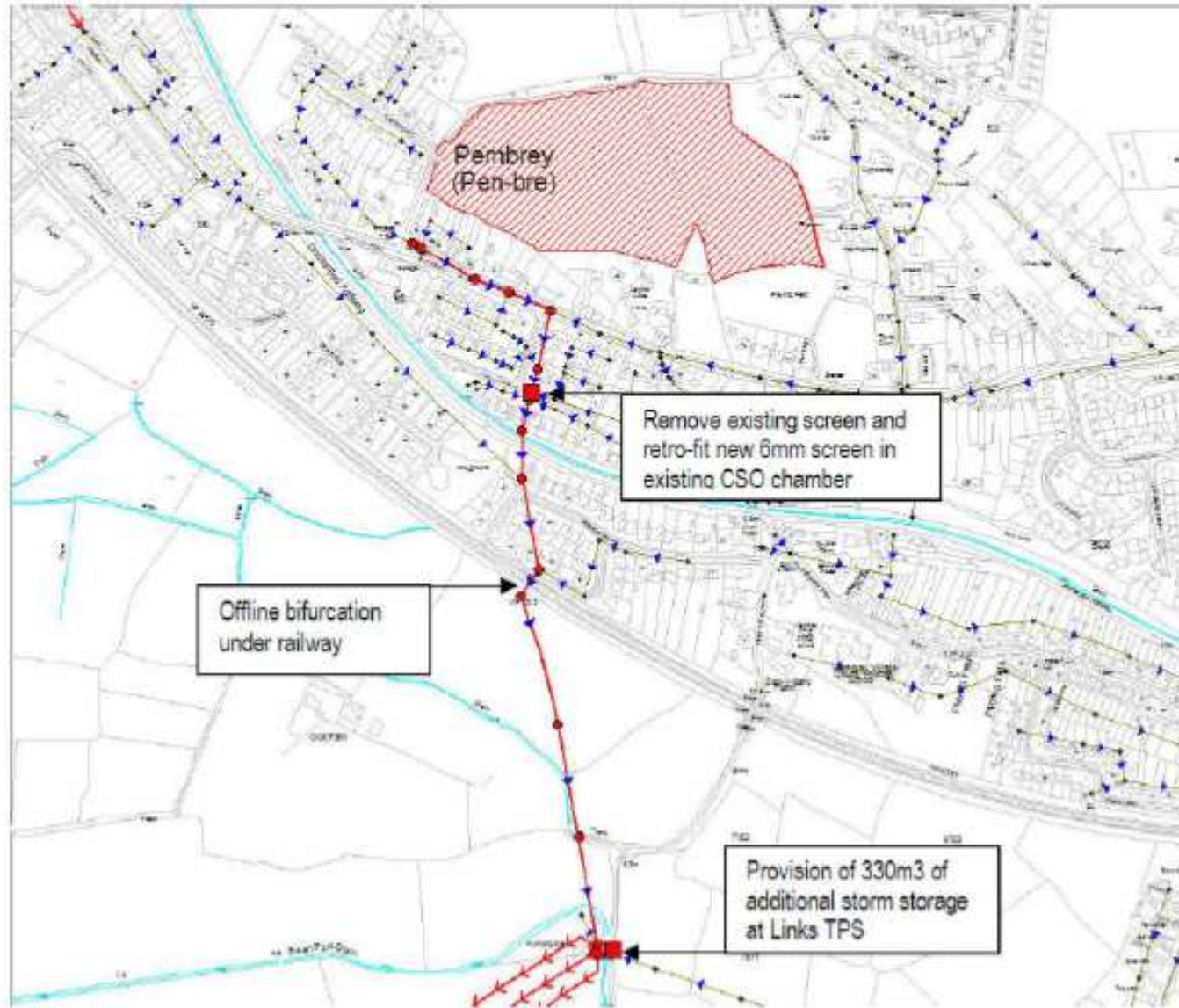


S/21597

- Options 1a and 1b – Online Sewer Upsize with Offline Storage at Links Pump Station



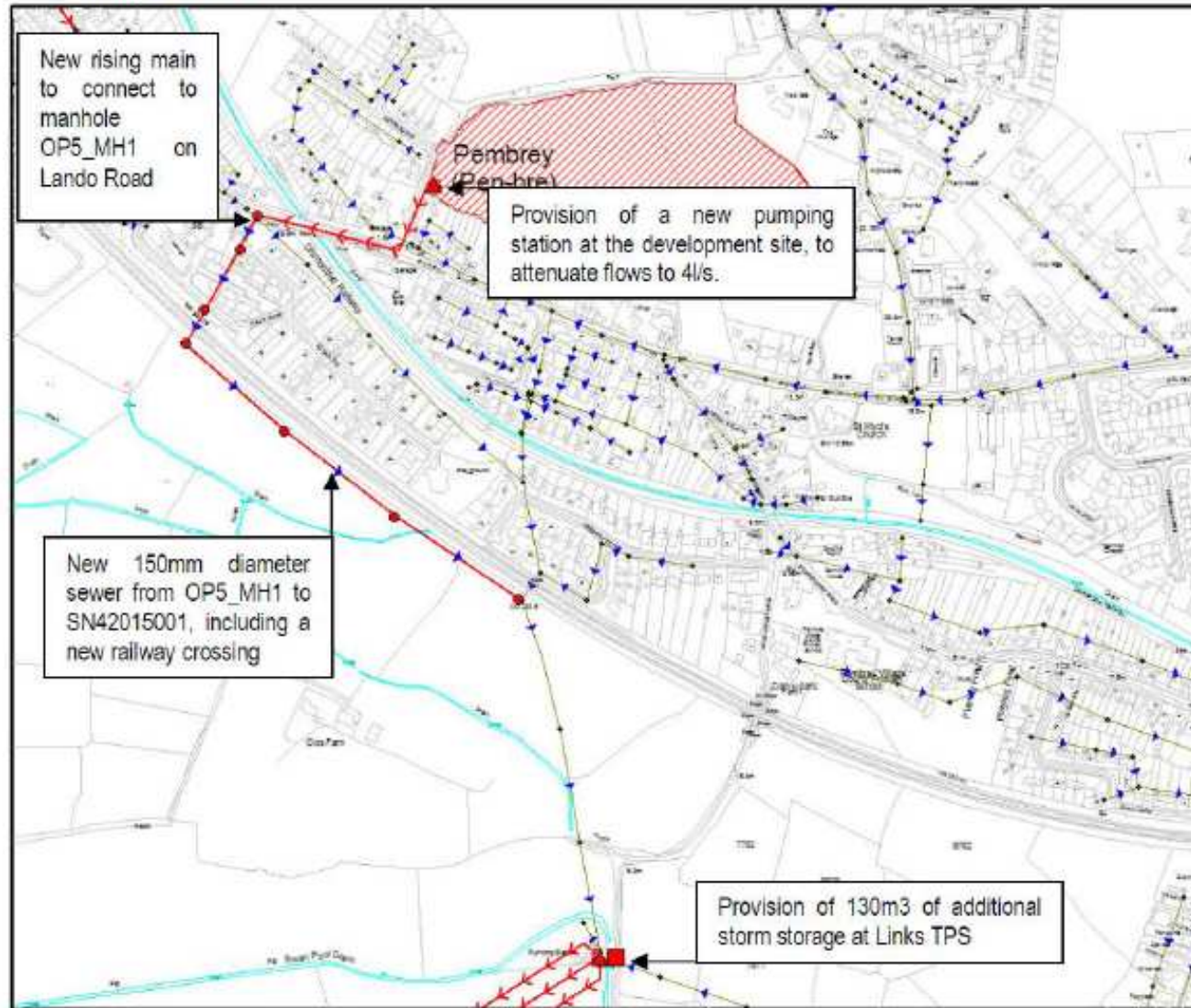
S/21597



Option 1b

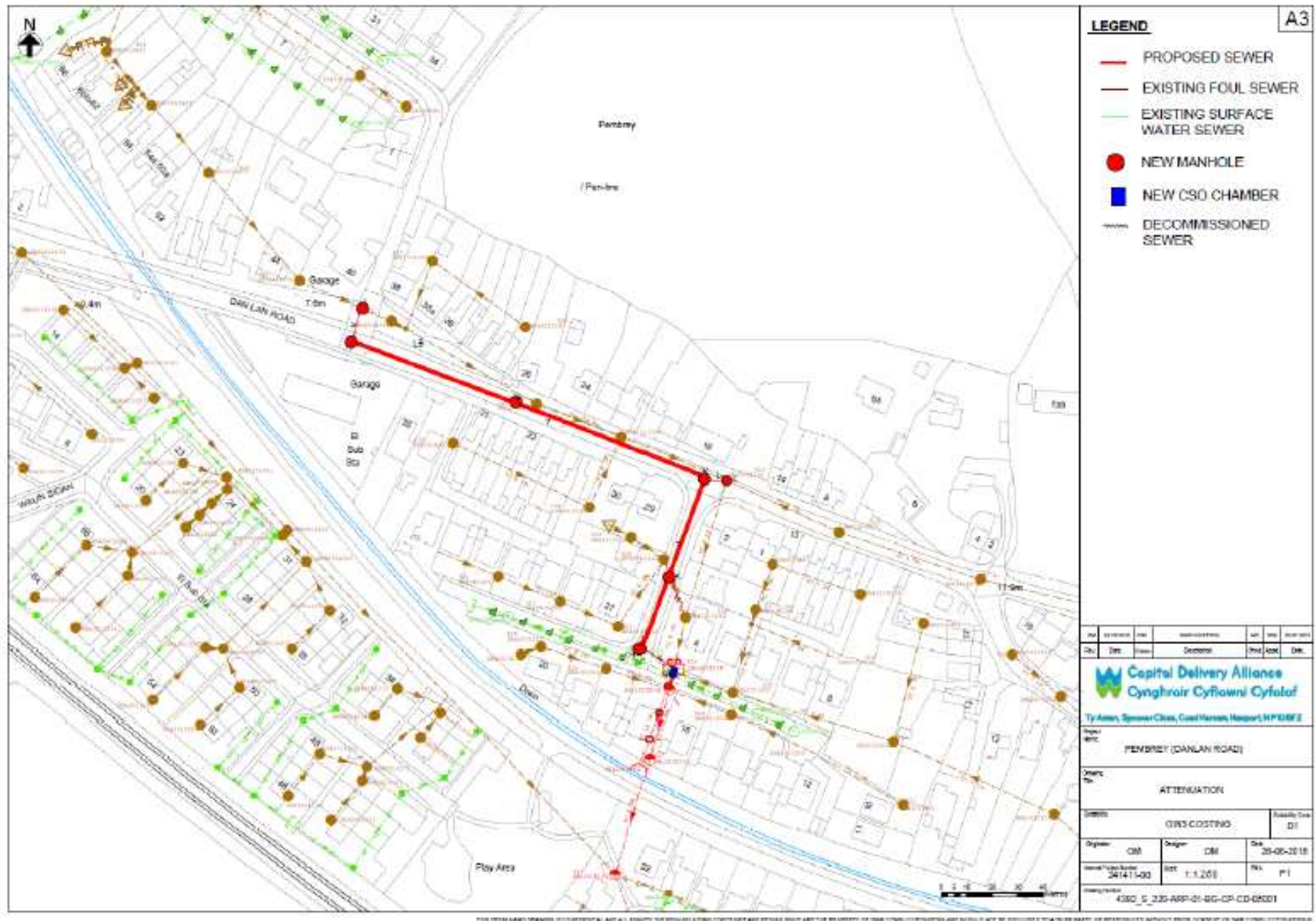
S/21597

- Option 2 – New Development Pump Station, Sewerage and Offline Storage at Links Pump Station



Option 2

S/21597



LEGEND A3

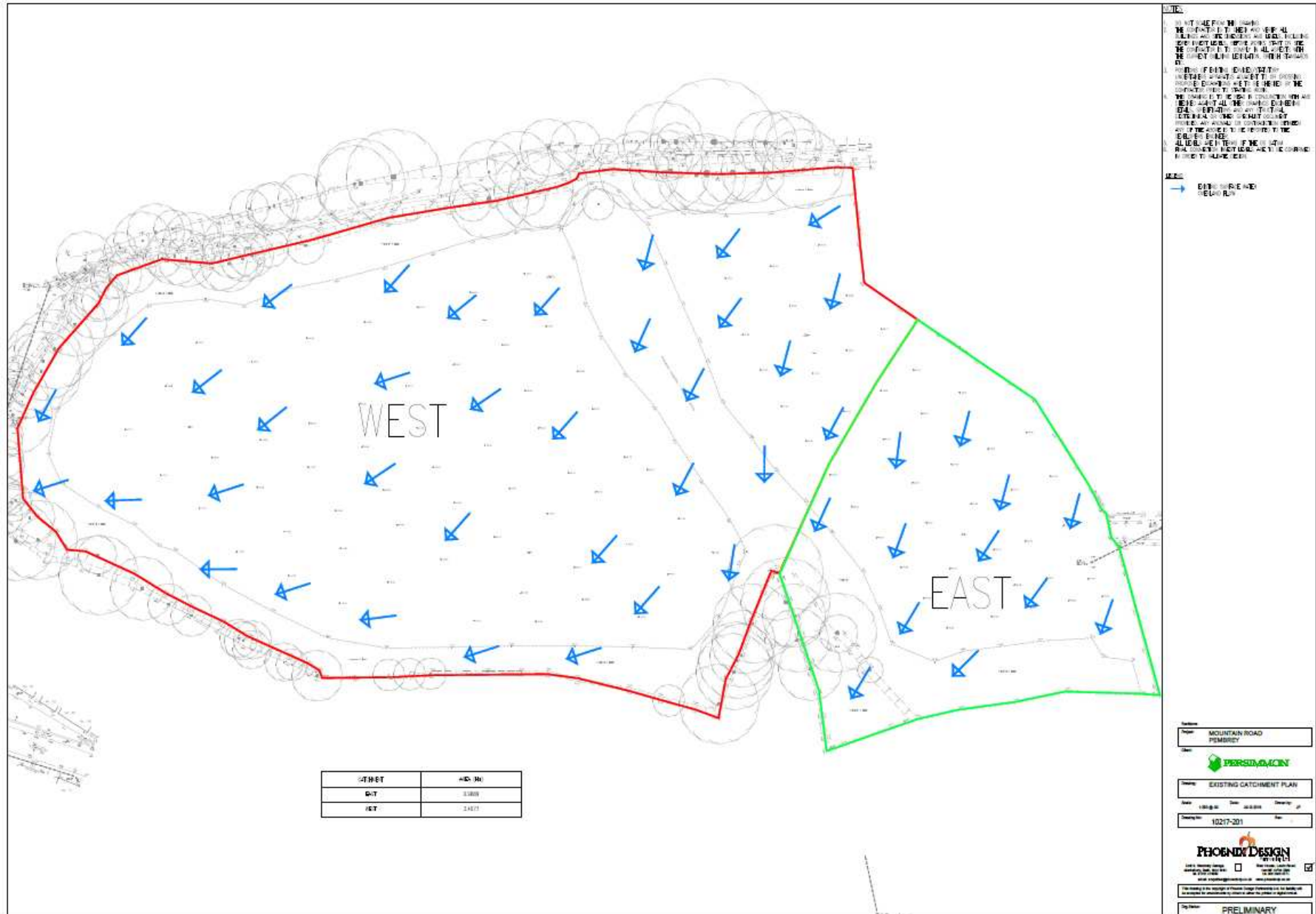
- PROPOSED SEWER
- EXISTING FOUL SEWER
- EXISTING SURFACE WATER SEWER
- NEW MANHOLE
- NEW CSO CHAMBER
- - - DECOMMISSIONED SEWER

Proj	Section	Rev	Issue/Description	Iss	Rev	Issue Date
24141-003	001	1	Design	2018	001	2018
 Ty Amod, Sponner Clwb, Cwm Hwys, Hwysport, HPOBWE						
Project Name: PEMBREY (DANLAN ROAD)						
Project Type: ATTENUATION						
System: OWN COSTING						Substrate Code: D1
Designer: DM	Designer: DM	Date: 20-06-2018				
Project Number: 24141-003	Rev: 1.1.2018	Rev: P1				
Drawing Number: 4380_S_230-APP-01-SG-CP-CD-05001						

Option 3

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 7. THE INFORMATION ON THIS PLAN IS FOR INFORMATION ONLY AND DOES NOT CONSTITUTE A CONTRACT.
 8. THE INFORMATION ON THIS PLAN IS FOR INFORMATION ONLY AND DOES NOT CONSTITUTE A CONTRACT.
 9. THE INFORMATION ON THIS PLAN IS FOR INFORMATION ONLY AND DOES NOT CONSTITUTE A CONTRACT.
 10. THE INFORMATION ON THIS PLAN IS FOR INFORMATION ONLY AND DOES NOT CONSTITUTE A CONTRACT.

LEGEND:
 → DRAINAGE DIRECTION
 --- ROAD

Project: MOUNTAIN ROAD
 PHASE 1
 PERIODIC
 Existing Catchment Plan
 Date: 10/27/2011
 Drawing No: 10217-201
 PRELIMINARY

Tudalen 71

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Tudalen 73



Technical specifications and title block for the site plan. Includes a legend, project details, and company information.

LEGEND

- [Red Outline] Building Footprint
- [Blue Outline] Road
- [Green Outline] Landscaping
- [Purple Outline] Specific Area
- [Circle] Tree
- [Line] Path
- [Dashed Line] Proposed
- [Solid Line] Existing

TITLE BLOCK

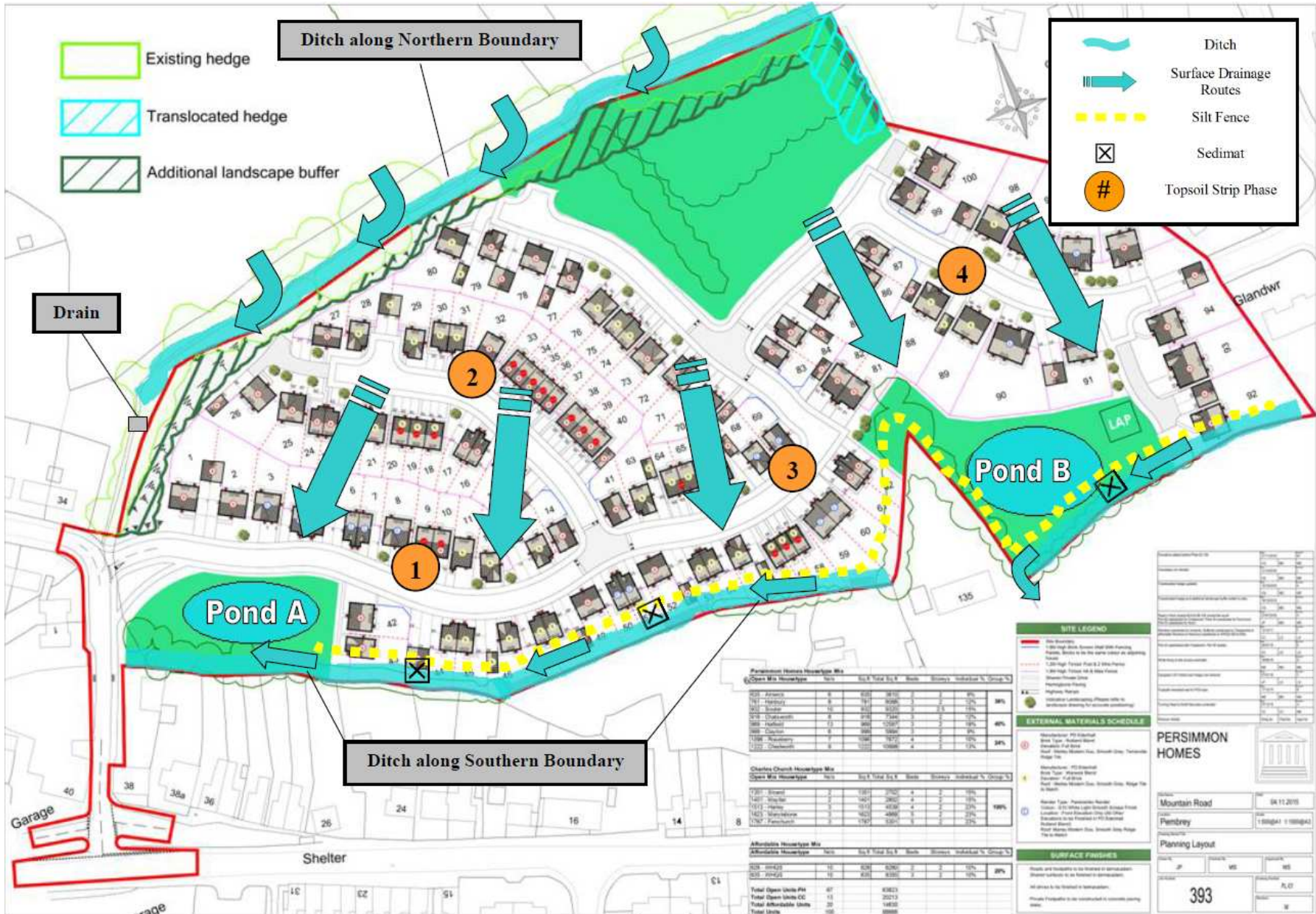
PROJECT: Tudalen 73
DRAWING: S/21597
DATE: 2024-08-01
SCALE: 1:500
DRAWN BY: [Name]
CHECKED BY: [Name]

COMPANY

PERKINS+WILL
Architects

FOR TENDER

S/21597



S/21597

SOFT LANDSCAPE KEY

- EXISTING TREES/HEDGES TO BE RETAINED & ENHANCED
- PROPOSED NATIVE TREE PLANTING (Note to plant schedule for species/numbers)
- PROPOSED ORNAMENTAL/AVENUE TREE PLANTING (Note to plant schedule for species/numbers)
- PROPOSED NATIVE WOODLAND PLANTING (Note to plant schedule for species/numbers)
- PROPOSED NATIVE HEDGEROW PLANTING (Note to plant schedule for species/numbers)
- PROPOSED TRANSLUCENT HEDGEROW PLANTING (Note to plant schedule for species/numbers)
- PROPOSED ORNAMENTAL HEDGEROW PLANTING (Note to plant schedule for species/numbers)
- PROPOSED SWALE PLANTING (Note to plant schedule for species/numbers)
- PROPOSED GRASS BEDDING (Note to plant schedule for species/numbers, or where appropriate)
- PROPOSED WILDER LOWER BEDDING (Note to plant schedule for species/numbers, or where appropriate)
- PROPOSED GRASS TURF (Note to be laid with Potexor Stabiliser, or where appropriate)
- PROPOSED NATIVE BURN PLANTATION (Note to plant schedule for species/numbers)
- PROPOSED BATTLE-NEURACULAR (Note to plant schedule for species/numbers)
- PROPOSED BAT BOX

PLANT SCHEDULES

NATIVE TREE PLANTING

Plot	Species	Quantity	Notes
1	Ash	1	
1	Beech	1	
1	Oak	1	
1	Yew	1	
2	Ash	1	
2	Beech	1	
2	Oak	1	
2	Yew	1	
...
135	Ash	1	
135	Beech	1	
135	Oak	1	
135	Yew	1	

ORNAMENTAL TREE PLANTING

Plot	Species	Quantity	Notes
1	Almond	1	
1	Apple	1	
1	Birch	1	
1	Box	1	
1	Cherry	1	
1	Crabapple	1	
1	Dogwood	1	
1	Hawthorn	1	
1	Hamamelis	1	
1	Hornbeam	1	
1	Lind	1	
1	Lime	1	
1	Malus	1	
1	Magnolia	1	
1	Plum	1	
1	Rose	1	
1	Sweetgum	1	
1	Wisteria	1	
1	Yucca	1	
...
135	Almond	1	
135	Apple	1	
135	Birch	1	
135	Box	1	
135	Cherry	1	
135	Crabapple	1	
135	Dogwood	1	
135	Hawthorn	1	
135	Hamamelis	1	
135	Hornbeam	1	
135	Lind	1	
135	Lime	1	
135	Malus	1	
135	Magnolia	1	
135	Plum	1	
135	Rose	1	
135	Sweetgum	1	
135	Wisteria	1	
135	Yucca	1	

NATIVE HEDGEROW PLANTING

Plot	Species	Quantity	Notes
1	Alder	1	
1	Bramble	1	
1	Burdock	1	
1	Blackberry	1	
1	Blackthorn	1	
1	Cherry	1	
1	Cornus	1	
1	Hawthorn	1	
1	Redstart	1	
1	Rose	1	
1	Sloe	1	
1	Stemmed	1	
1	Yew	1	
...
135	Alder	1	
135	Bramble	1	
135	Burdock	1	
135	Blackberry	1	
135	Blackthorn	1	
135	Cherry	1	
135	Cornus	1	
135	Hawthorn	1	
135	Redstart	1	
135	Rose	1	
135	Sloe	1	
135	Stemmed	1	
135	Yew	1	

ORNAMENTAL HEDGEROW PLANTING

Plot	Species	Quantity	Notes
1	Box	1	
1	Privet	1	
1	Yew	1	
...
135	Box	1	
135	Privet	1	
135	Yew	1	

WATER PLANTING

Plot	Species	Quantity	Notes
1	Watercress	1	
1	Watermint	1	
1	Waterhyacinth	1	
1	Waterlily	1	
...
135	Watercress	1	
135	Watermint	1	
135	Waterhyacinth	1	
135	Waterlily	1	

MODELLING PLANTING MATRIX

	A	B	C	D	E	F	G	H	I
1	*	*	*	*	*	*	*	*	*
2	*	*	*	*	*	*	*	*	*
...
135	*	*	*	*	*	*	*	*	*

KEY TO PLANTING CODES

- △ Common - Native species (Native) (10-3000) (S)
- Common - Native species (Native) (10-3000) (R)
- Common - Native species (Native) (10-3000) (N)
- Exotic - Exotic species (Native) (10-3000) (S)

NOTE:
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DRAWING IS SHOWN AT A SCALE OF 1:500 ON A5. DO NOT RELY ON REDUCED COPIES.

TDA
TUDALAN DESIGN & ARCHITECTURE
Tel: 01446 788787

PERIMMON HOMES WEST WALES
DRAWING NUMBER: TDA 2195.01 | SCALE: 1:500 @ A0
SIGNED: [Signature] | DATE: JAN 2016
PROJECT: MOUNTAIN ROAD, PEMBREY
DRAWING TITLE: DETAILED SOFT LANDSCAPE PROPOSALS

Tudalen 75

S/21597



<p>PERSIMMON HOMES</p>	
<p>Project: Mountain Road</p> <p>Date: 28/03/2019</p> <p>Location: Pembrey</p> <p>Scale: 1:500 (A1)</p>	<p>Management Company Plan</p> <p>Sheet: 18 of 18</p> <p>Number: 393</p> <p>Revision: D</p>

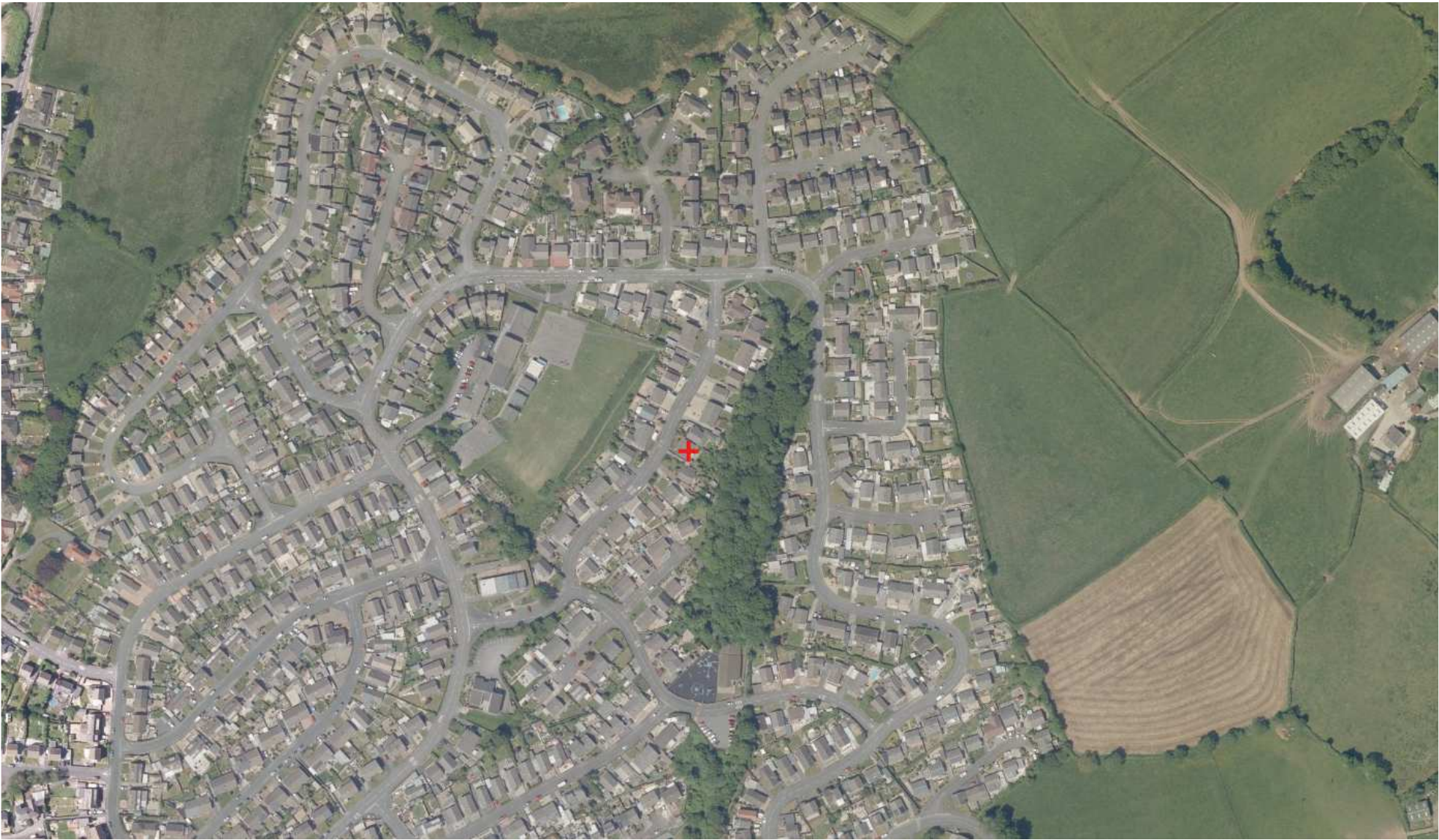


S/38939

S/38939



S/38939



Tudalen 79

S/38939



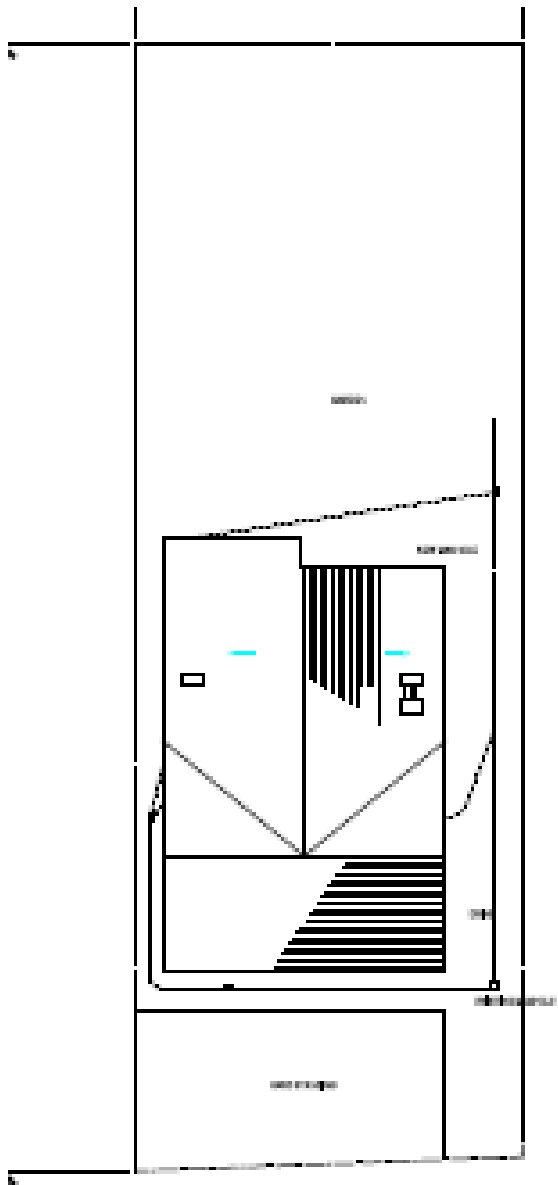
S/38939



Tudalen 81

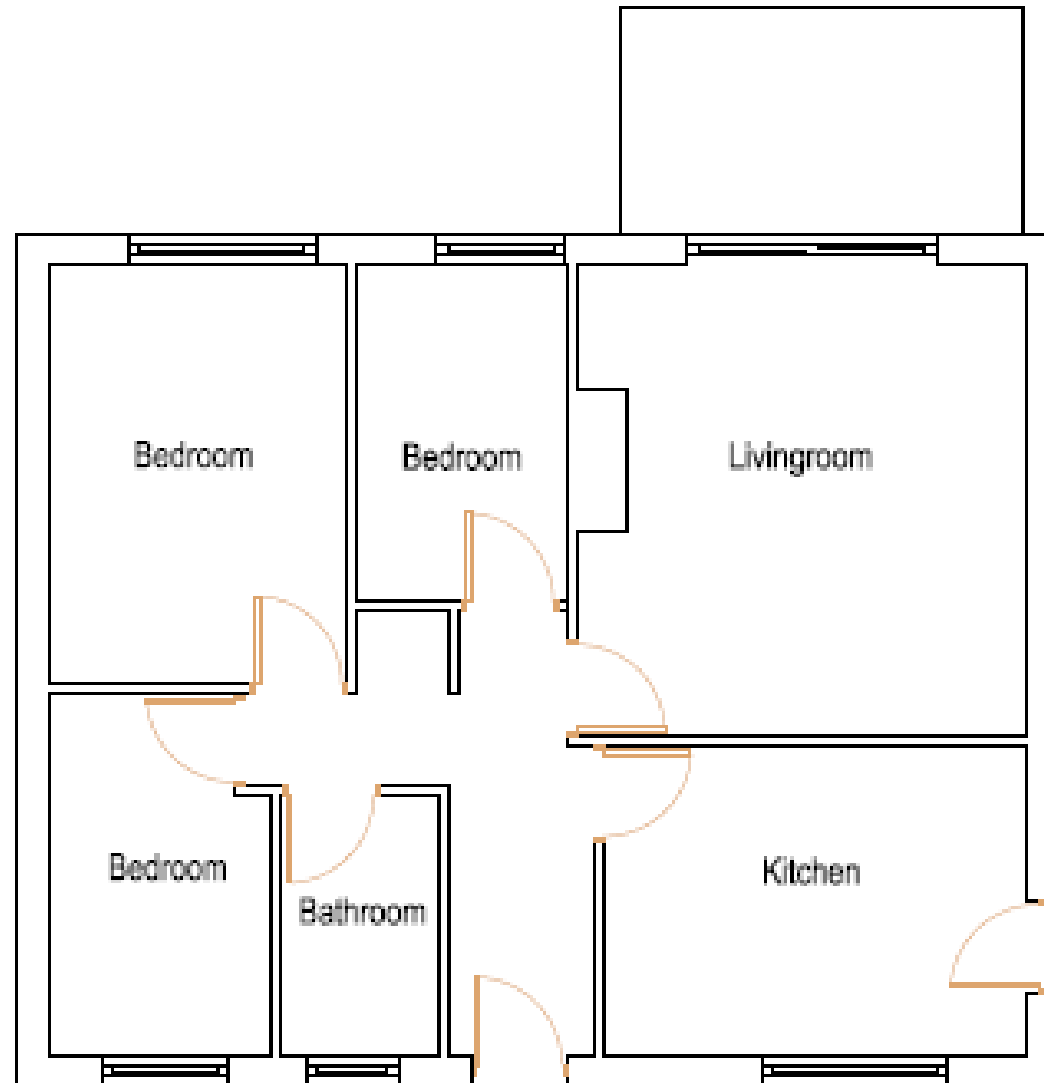
Tudalen 82

S/38939



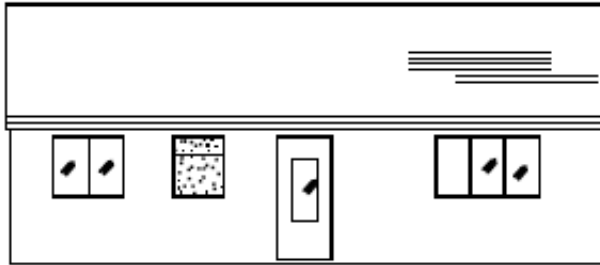
Site plan
1:200

S/38939

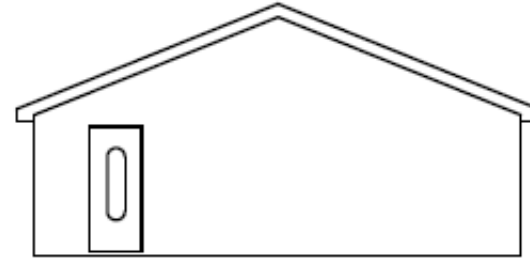


Existing ground floor plan

S/38939



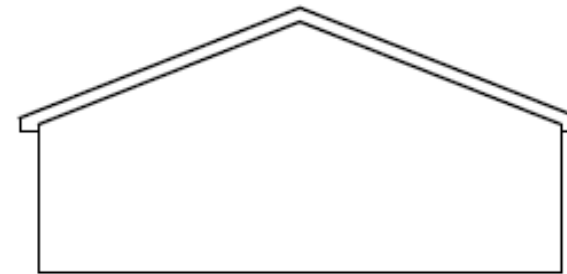
Existing front elevation



Existing side elevation

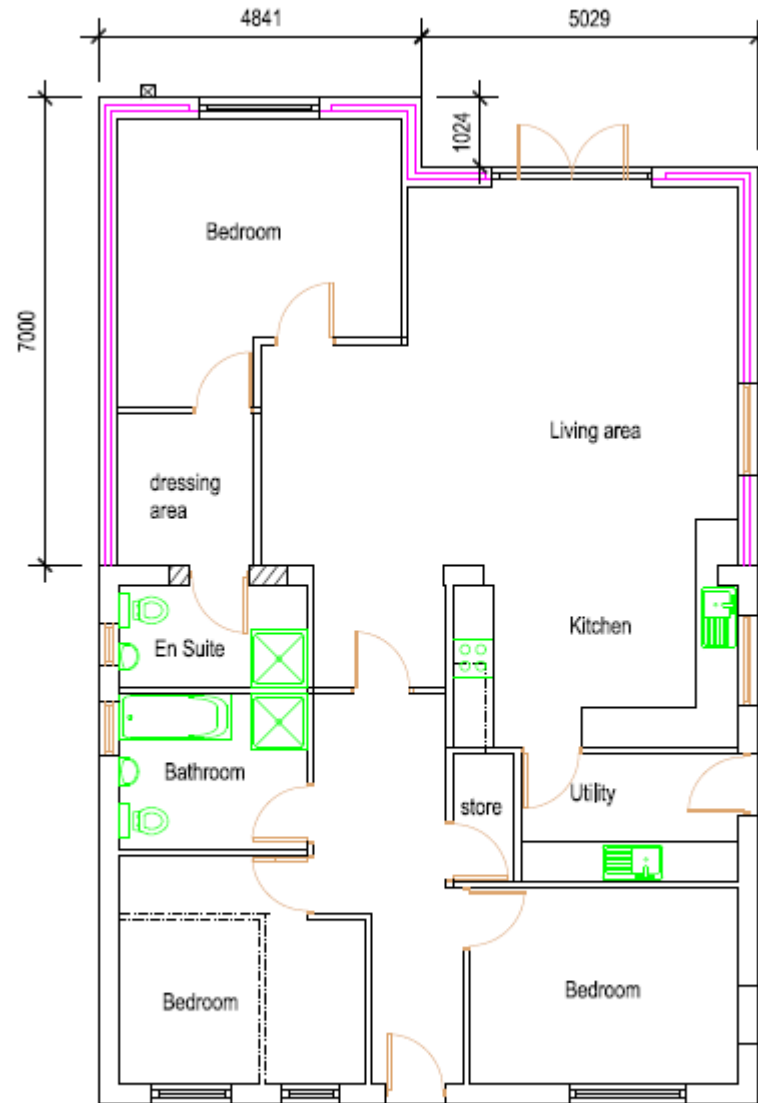


Existing rear elevation



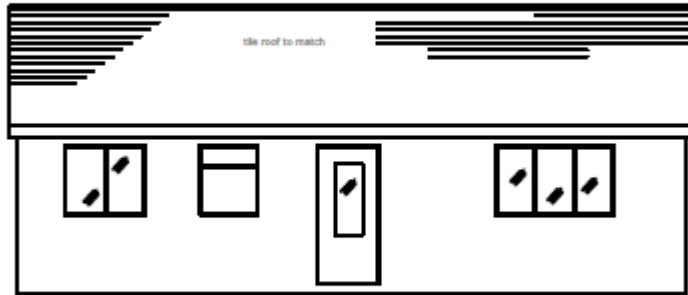
Existing side elevation

S/38939

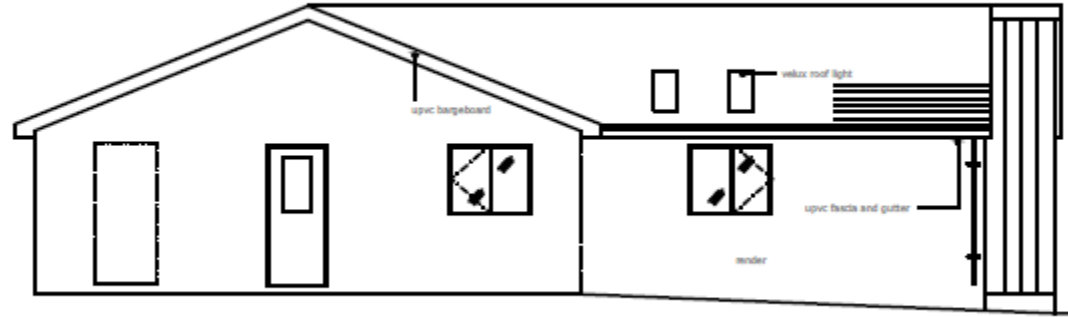


Proposed ground floor plan

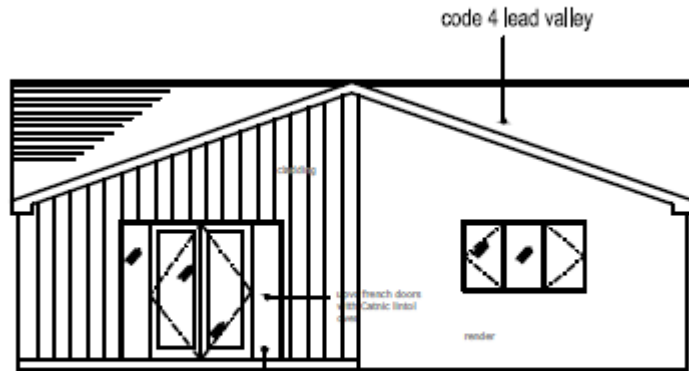
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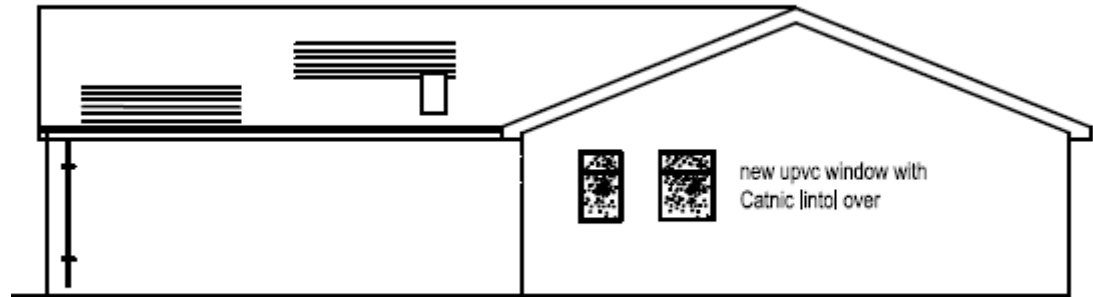
Proposed front elevation



Proposed side elevation



Proposed rear elevation



Proposed side elevation

S/38939



Tudalen 87

Tudalen 88

S/38939



S/38939



S/38939



S/38939



Tudalen 92

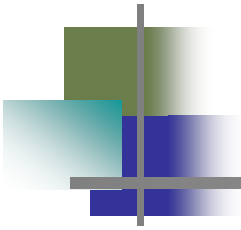
S/38939



S/38939



Tudalen 93



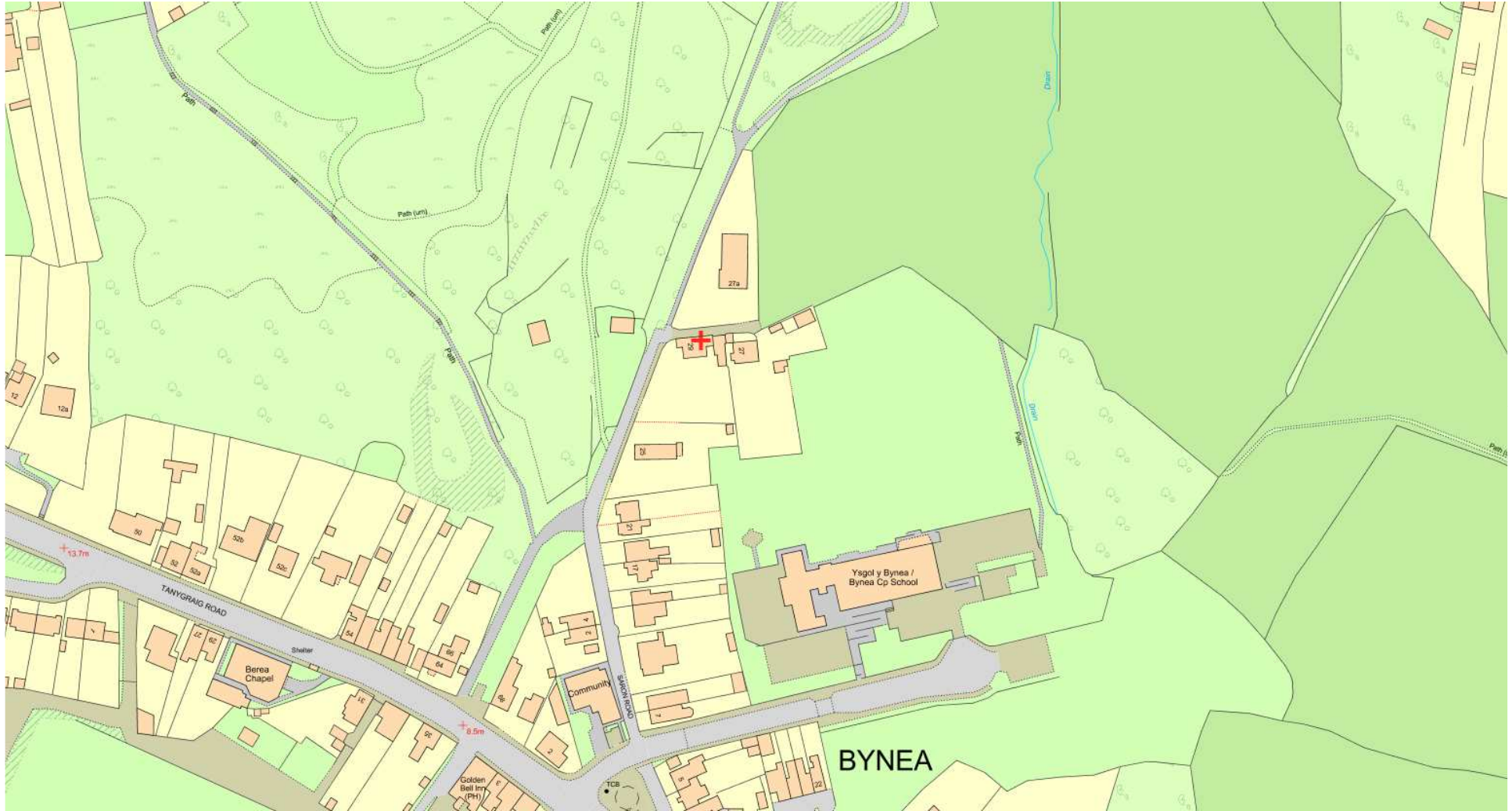
S/38967

S/38967



Tudalen 95

S/38967



S/38967



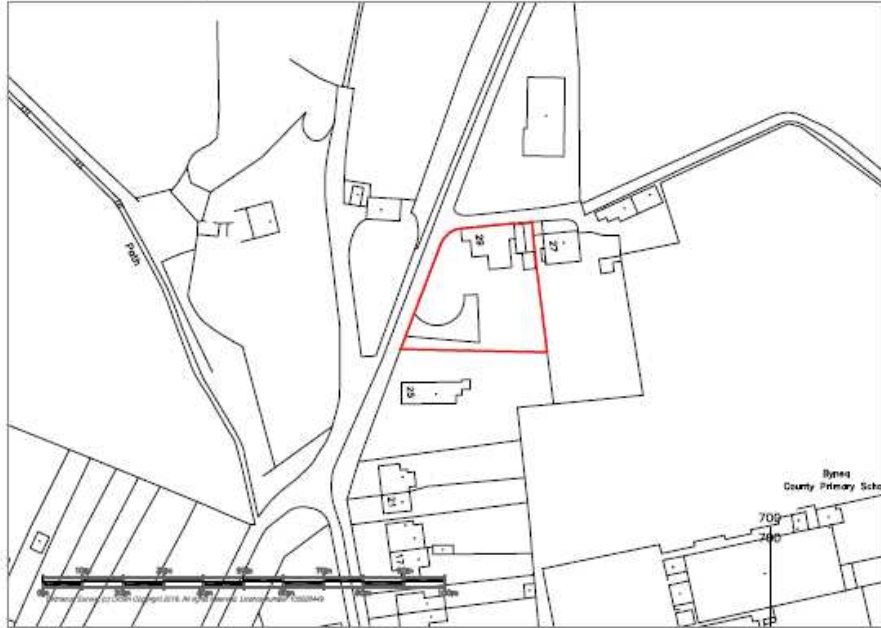
Tudalen 97

S/38967

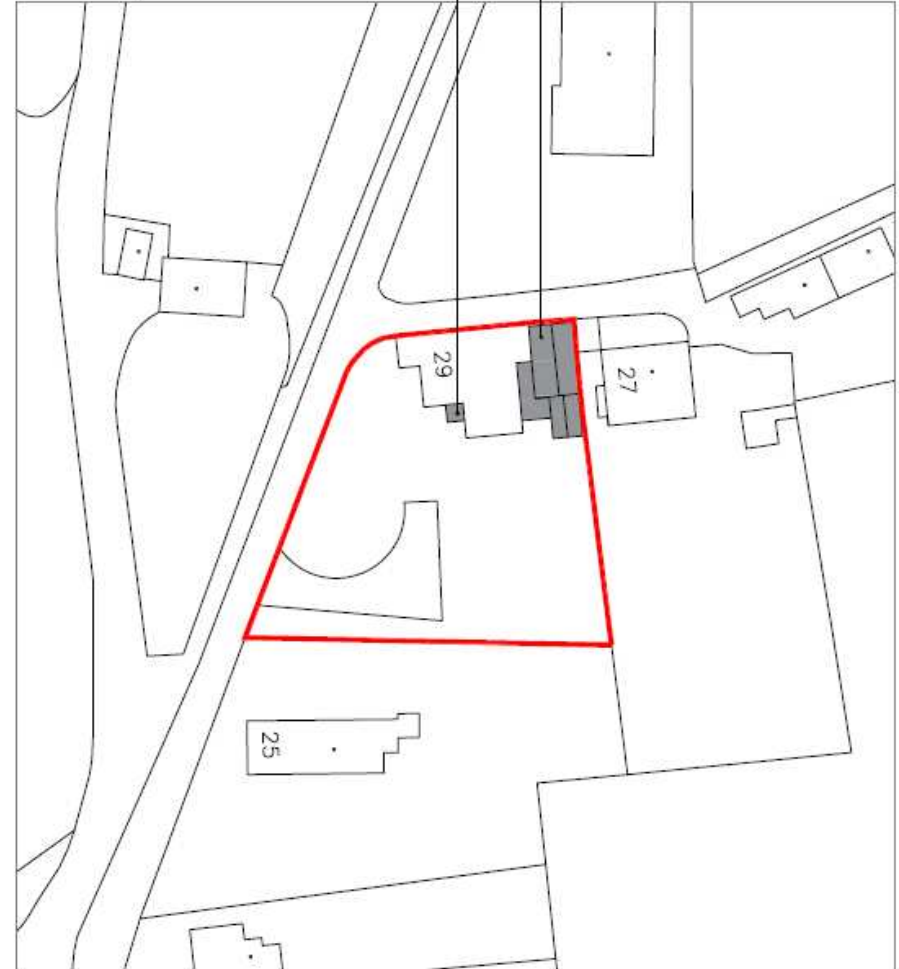


S/38967

Location Plan - Existing - 1:1250



Site Plan - Proposed - 1:500



Key

Property Boundary -



29 Saron Road, Bynea,
Llanelli, Carmarthenshire.

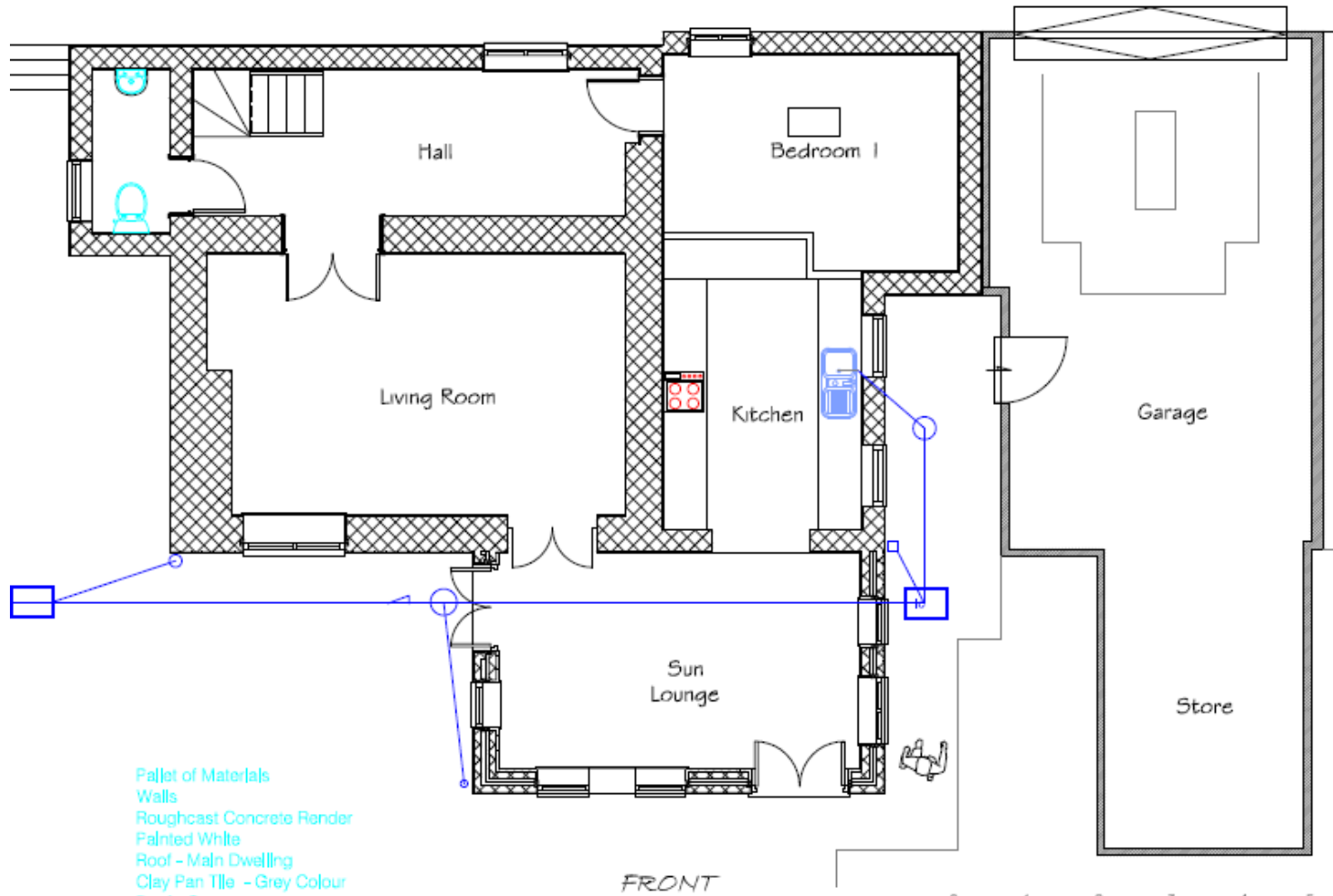
Garage Conversion &
Front Porch

Mr & Mrs Morse

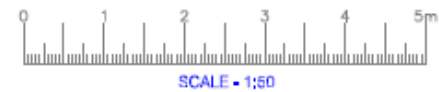


S/38967

LLAWR GWAELOD
EXISTING GROUND FLOOR PLAN



- Palet of Materials
- Walls
- Roughcast Concrete Render
- Painted White
- Roof - Main Dwelling
- Clay Pan Tile - Grey Colour
- Roof - Garage
- Metal Profile Sheetng - Grey
- Windows
- uPVC - Double Glazed - White
- Doors
- uPVC - Double Glazed - White
- Rwgs
- uPVC - Facia - White
- Guttering - Black

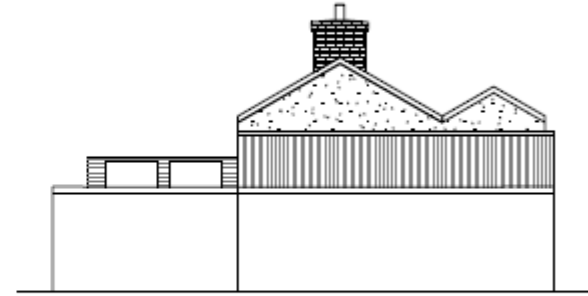


S/38967

EDRYCHJAD BLAKK
EXISTING FRONT ELEVATION

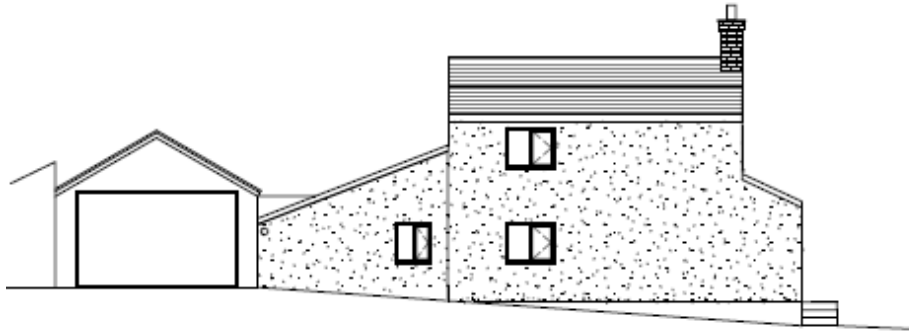


EDRYCHJAD OCHR
EXISTING SIDE ELEVATION



SCALE - 1:100

EDRYCHJAD GEFN
EXISTING REAR ELEVATION

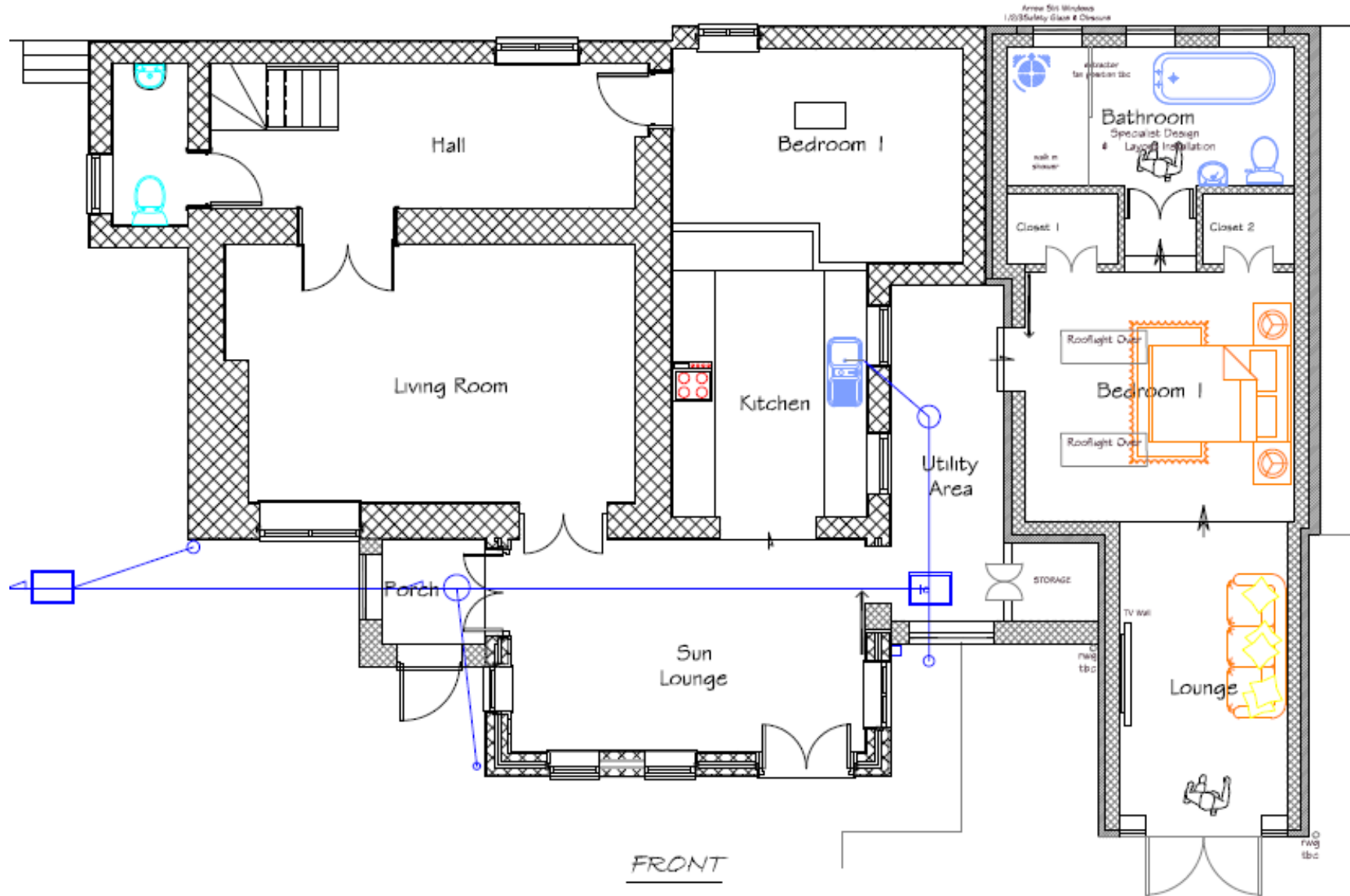


EDRYCHJAD OCHR
EXISTING SIDE ELEVATION



S/38967

LLAWR GWAELOD
PROPOSED GROUND FLOOR PLAN



S/38967

EDRYCHIAD BLAEN
PROPOSED FRONT ELEVATION

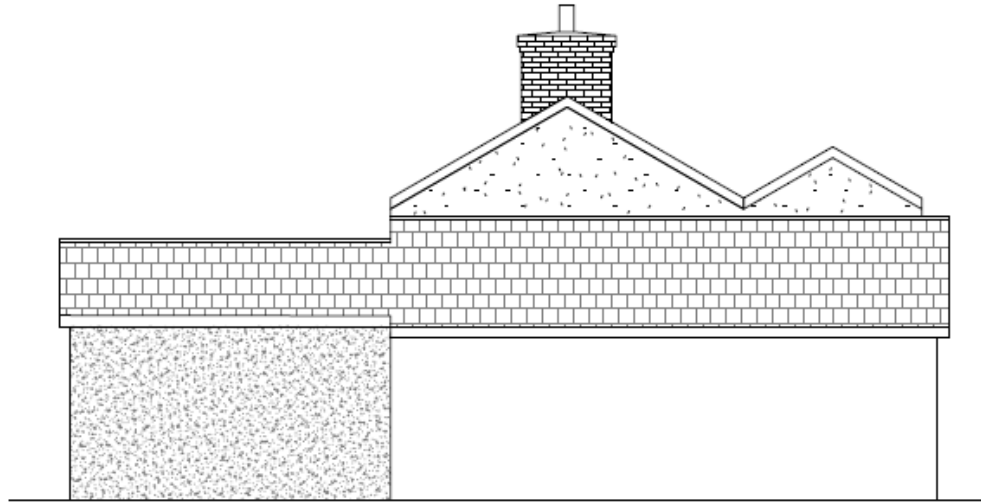


EDRYCHIAD CEFN
PROPOSED REAR ELEVATION



S/38967

EDRYCHIAD OCHR
PROPOSED SIDE ELEVATION



SCALE - 1:50

EDRYCHIAD OCHR
PROPOSED SIDE ELEVATION



S/38967



Tudalen 105

Tudalen 106

S/38967



S/38967



Tudalen 108

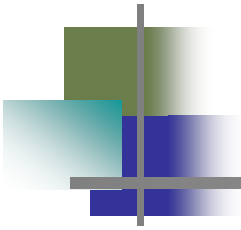
S/38967



S/38967

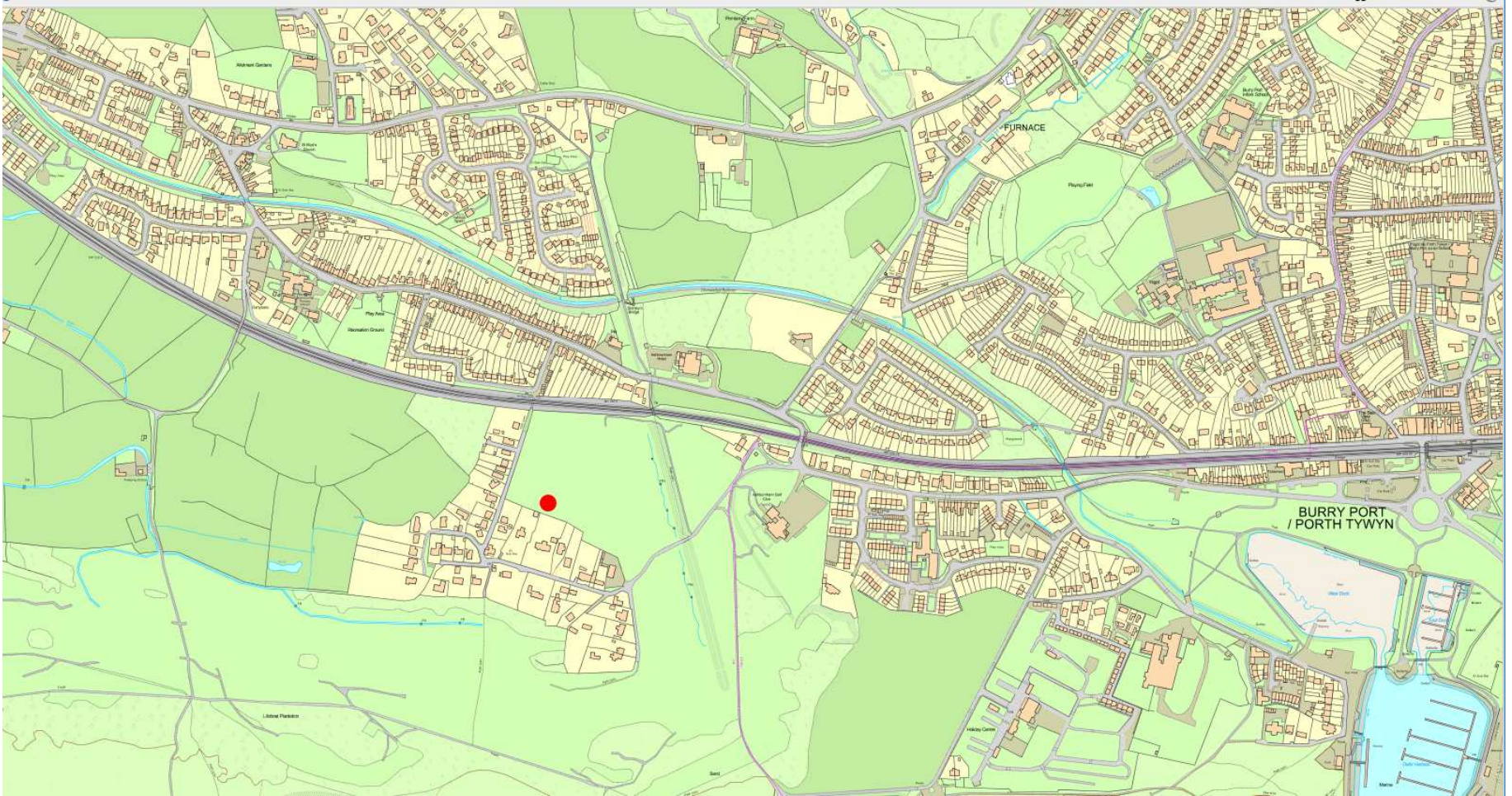


Tudalen 109



S/39013

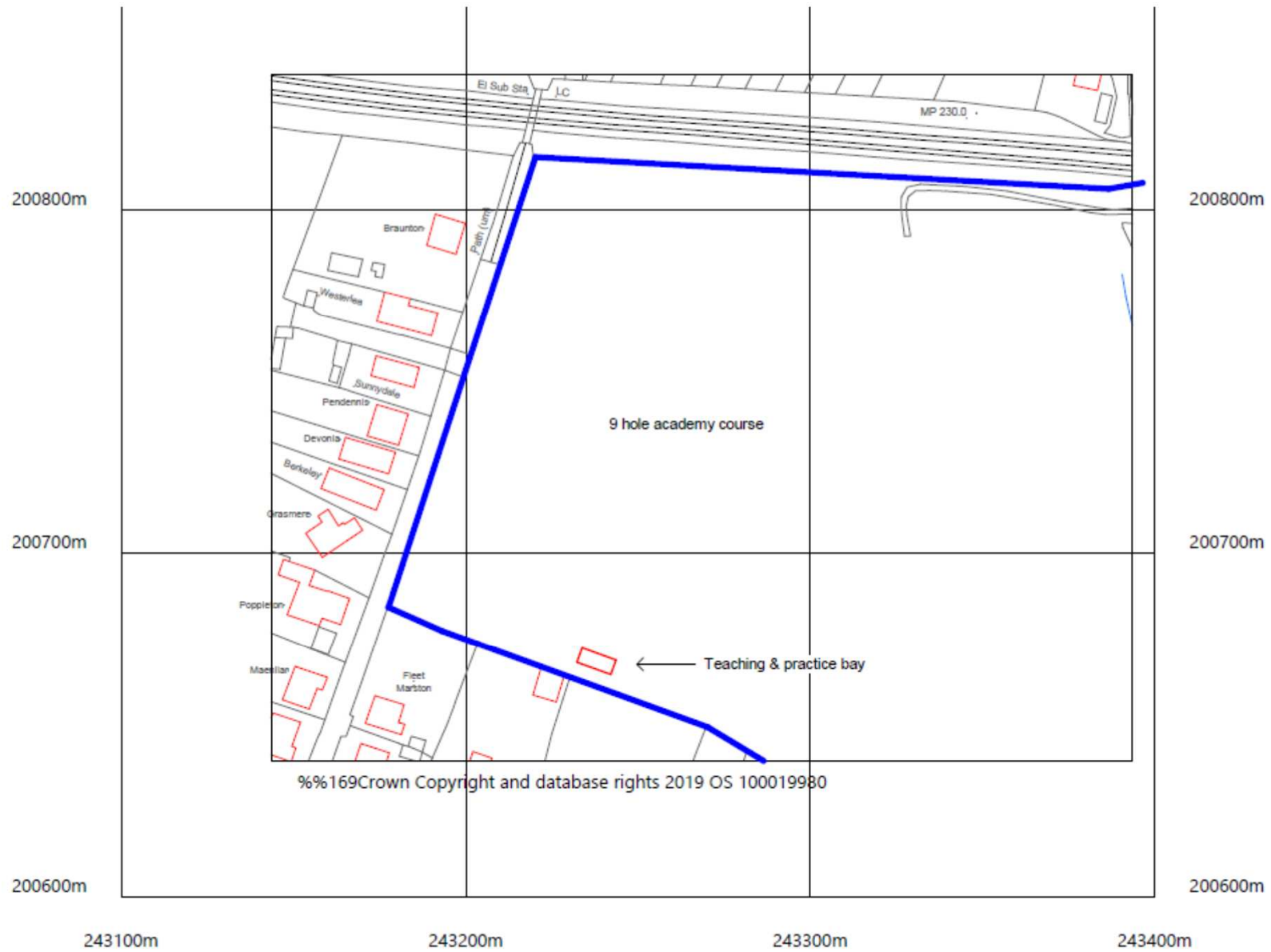
S/39013



S/39013



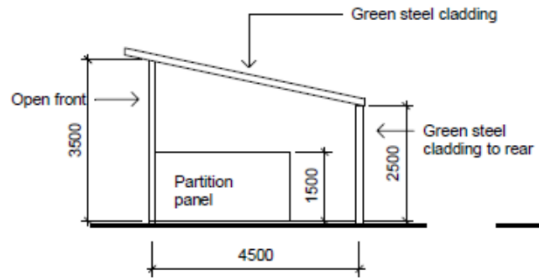
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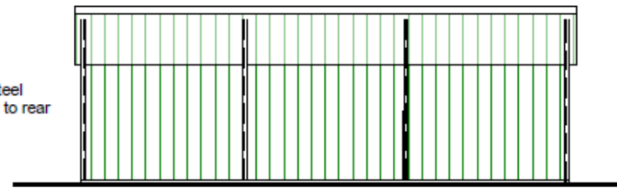
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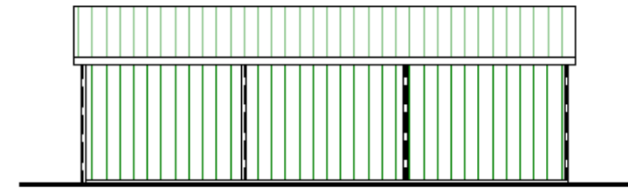
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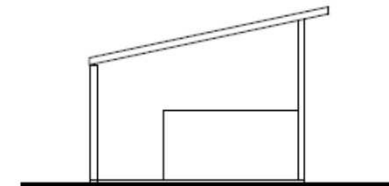
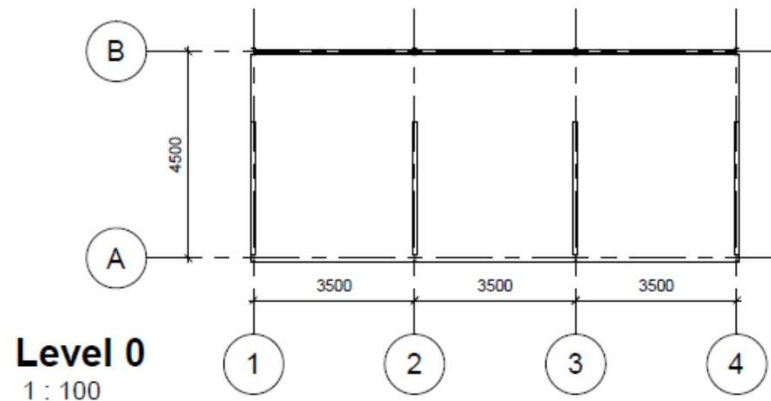
Proposed West
1 : 100



Proposed North
1 : 100



Proposed South
1 : 100



Proposed East
1 : 100

Tudalen 116

S/39013



S/39013



Tudalen 117

S/39013



S/39013



Tudalen 119

Mae'r dudalen hon yn wag yn fwriadol



***Y PWYLLGOR
CYNLLUNIO***

22 AWST 2019

***RHANBARTH Y
GORLLEWIN***

**PLANNING
COMMITTEE**

22 AUGUST 2019

**AREA
WEST**

***CEISIADAU YR ARGYMHELLIR EU
BOD YN CAEL EU CYMERADWYO***

**APPLICATIONS RECOMMENDED
FOR APPROVAL**



W/38894

W/38894

Location plan



W/38894

Aerial Photograph



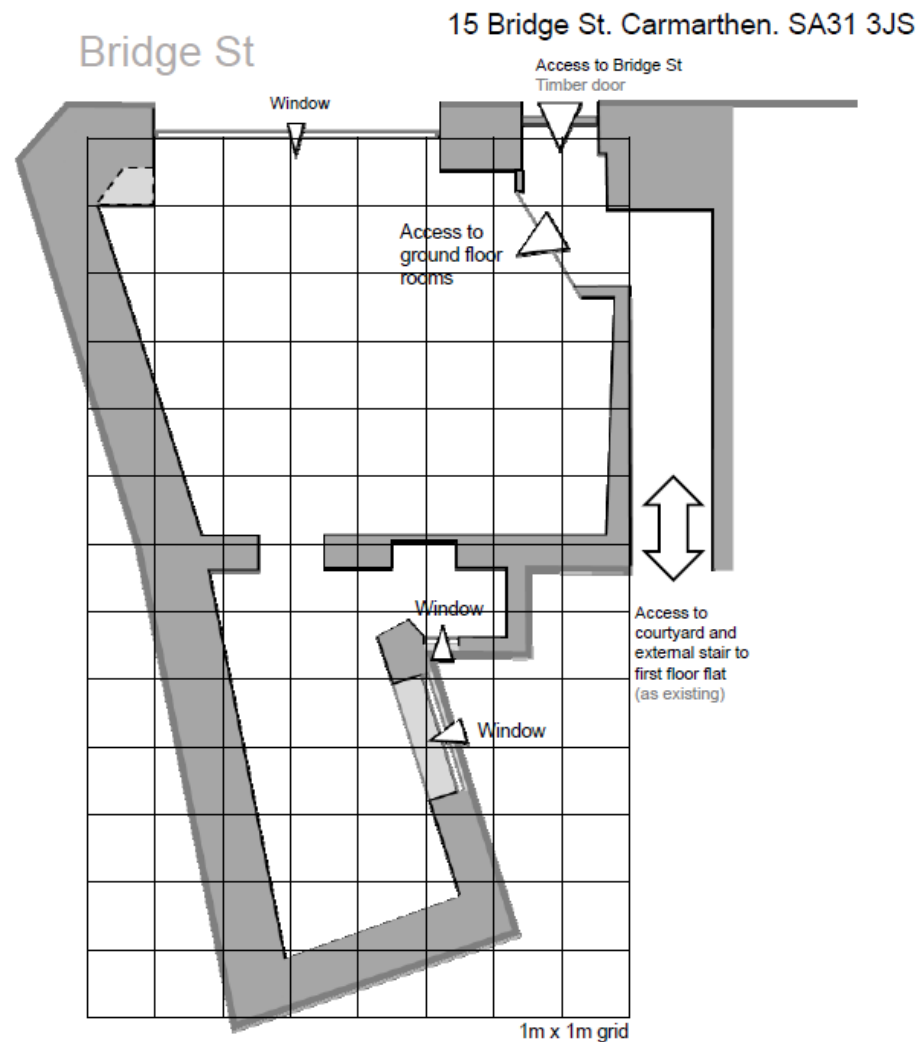
W/38894

Location plan

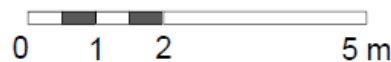


W/38894

Existing floor plan

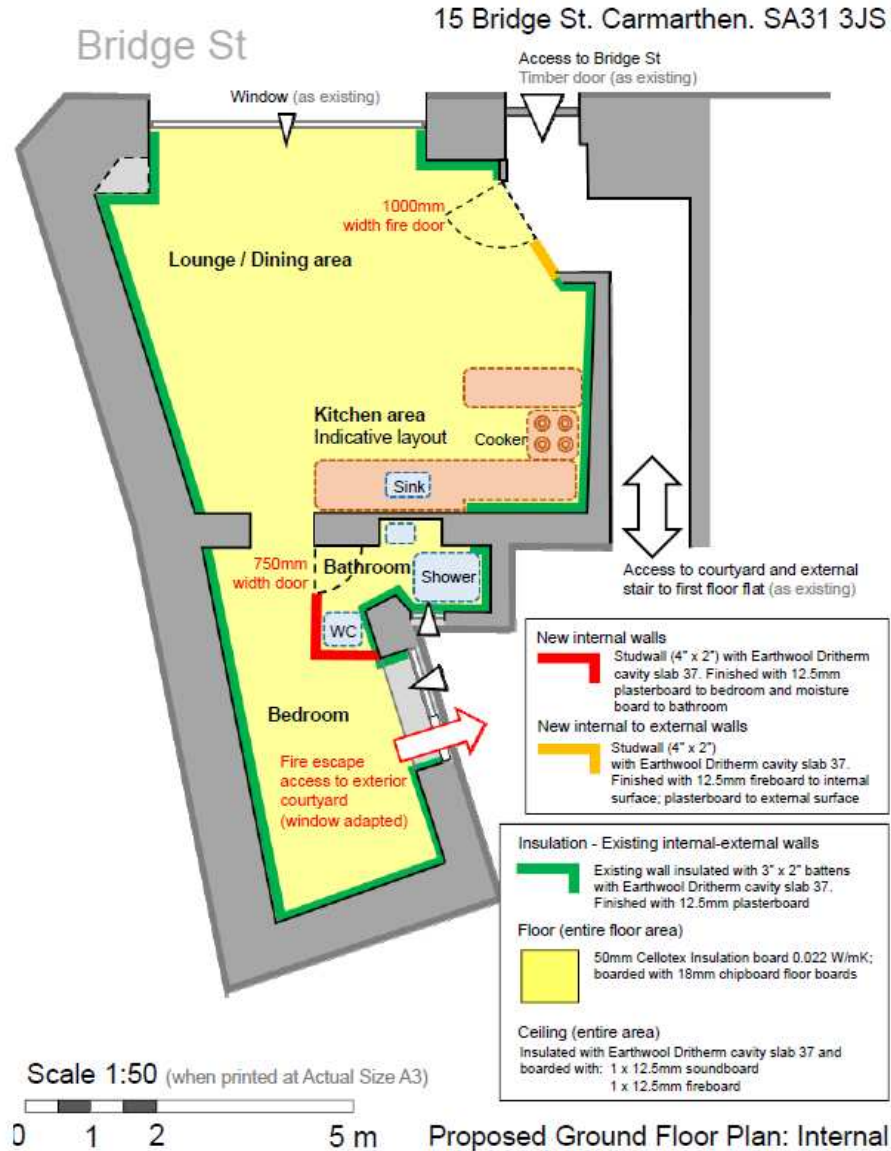


Scale 1:50 (when printed at Actual Size A3)



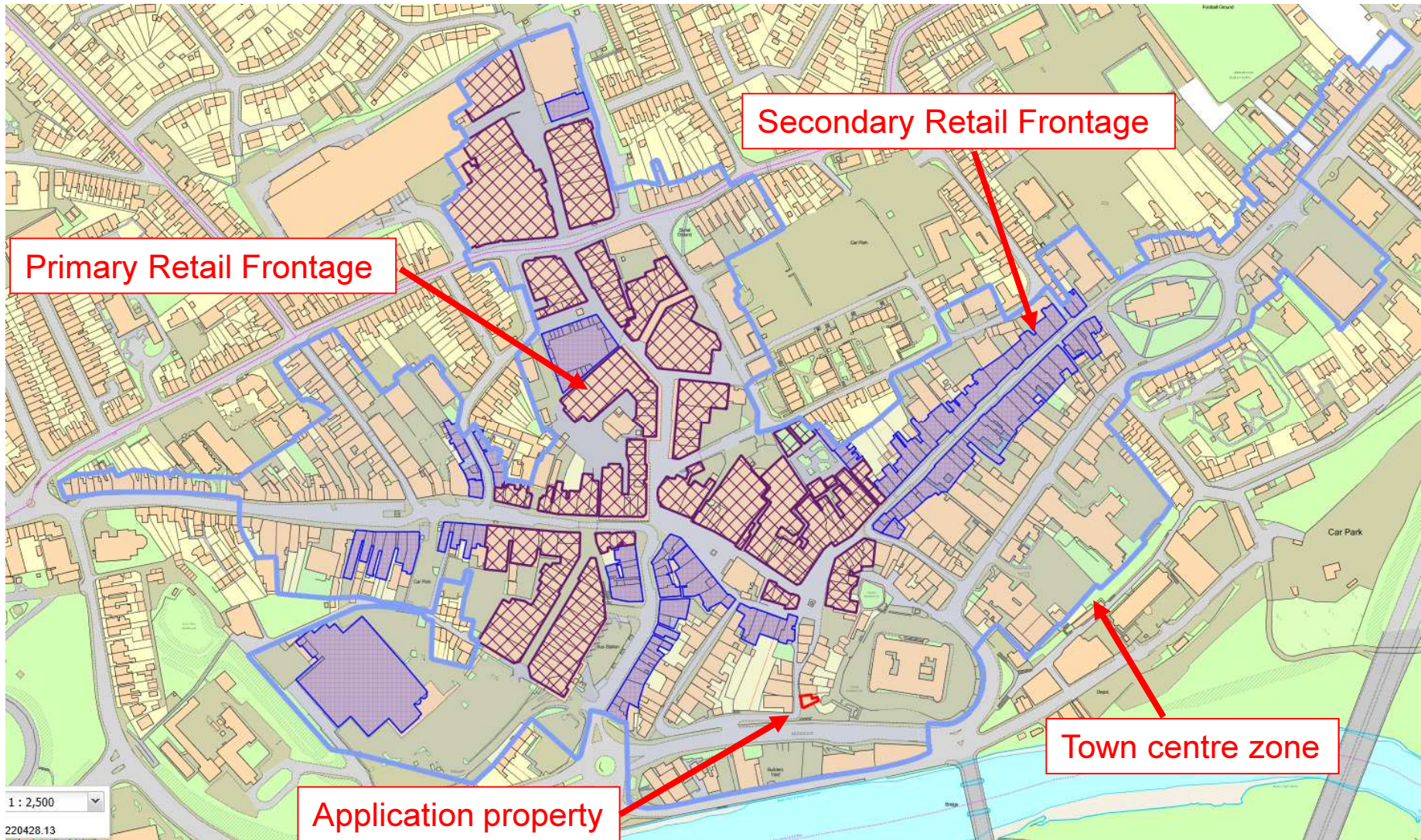
Existing Ground Floor Plan: Internal

Proposed floor plan



W/38894

LDP – Town Centre & Retail Designations



W/38894

View north along Bridge Street



Application Property

W/38894

View north along Bridge Street towards
Nott Square



Tudalen 131

Tudalen 132

W/38894

View south along Bridge Street



W/38894

View of application property and adjacent residential development from Coracle Way
(google street scene)



Mae'r dudalen hon yn wag yn fwriadol